

BUSHFIRE HAZARD REPORT



Proposed shed
50 Delta Avenue,
Tarooma, 7053

Dated 26th November 2024
Report by David Lyne BFP-144

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Appendix C – Bushfire Hazard Management Plan, by David Lyne – certified date 26.11.2024; & Certificate of Others (Form 55) 1593/24

1. Introduction

I have been engaged by Island Life Designers to prepare a bushfire report and plan for a new shed in the suburb of Taroom. The intent of this report is to confirm the suitability of the bushfire prone parcel of land to be successfully developed for the shed within 6m of the existing dwelling in accordance with the Directors Determination –requirements for building in bushfire prone areas v2.3 (the Code).

The assessment describes the site and surrounding area, classifying the vegetation, assessing the slope and environmental features. This report should be included with approval documentation forming part of the certified documentation intended to satisfy the Directors Determination. The body of the report describes the site and assesses the requirements to be implemented to satisfy the requirements of the Directors Determination.

2. Limitation of Report

This report has been prepared for the abovementioned clients for their use and distribution only. The intent of the report is for it to be used as supporting documentation for the Development Application (specifically vegetation clearance/maintenance distances) and the Building Application. Should submitted Application Plans differ from the Certified Plans supplied by the builder then an amended design review should be conducted to determine the suitability of any amendments in relation to the Bushfire Prone Area Requirements of AS3959-2018.

It is also to be noted that the assessment has been conducted according to the site inspection being conducted in November 2024 and does not take into account the possibility of altered site conditions either naturally occurring or where currently maintained or excluded vegetation conditions change due to a lack of ongoing maintenance.

It should be noted that compliance with the recommendations contained in this assessment does not mean that there is no residual risk to life safety or property as a result of bushfire. A residual level of risk remains which recognizes that removing the risk to life and property in absolute terms is not achievable while people continue to build in bushfire prone areas. This limitation is expressed in the following extract from AS 3959 (2018) which states (in the forward), *It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions.*

This level of residual risk is inherent in all bushfire standards and also applies to this assessment.

3. Site Description and Background

50 Delta Avenue Taroom is an existing land parcel, located in the municipality of the Kingborough Council. The property currently has an established dwelling with managed gardens within close proximity. There are established residential dwellings to all directions of the property, with some Forest vegetation to the south and south-west of the site.

The site has access to a pre-approved road – Delta Avenue which connects to Morris Avenue and in turn the Channel Highway. The allotment is provided with a reticulated water supply for firefighting.

3.1 Property Details

Address: 50 Delta Avenue, Taroom 7053

Municipality: Kingborough Council

Zoned: Low Density Residential

Lot Number: 127055/1

Type of Development: New shed within 6m of dwelling

Classified BAL: **BAL-12.5**



Photo 1 – Site analysis with Cadastral Overlay – Subject site highlighted blue.

3.2 Classification of Vegetation

The vegetation affecting the site has been classified in accordance with Clause 2.2.3 of AS 3959-2018. The dwelling site has unmanaged grassland vegetation to the Southern boundary. The Bushfire-Prone vegetation affecting the site is predominantly **Forest – Group A** in accordance with AS3959-2018.

In this case, in accordance with Clause 2.2.2 of AS 3959-2018, the relevant Fire Danger Index for Tasmania of 50 (FDI 50).

When considering the definition of Bushfire Prone Area under the Code it is evident the proposed dwelling location is within 100 metres of greater than 1 hectare of vegetation classified in accordance with AS 3959-2018 and is therefore considered '*Bushfire Prone*'.

From the proposed dwelling site a 360° survey has been conducted to determine the vegetation type, proximity and slope under the vegetation which is of the highest hazard rating. In this case the **Forest** to the south and south-west is the highest hazard vegetation surrounding the dwelling.

Note: in a bushfire there is a possibility of fire attack from any direction, not just the direction of the highest hazard. Photo 1, above indicates the Bushfire Prone Vegetation described. Refer to Appendix B for current conditions as at time of inspection.

3.3 Slope

The Effective slope of the land under the classified vegetation is determined in accordance with Clause 2.2.5 of AS 3959- 2018.

The *effective* slope under the bushfire prone vegetation is generally Upslope/Flatland 0° to the north, south and west; and downslope 5-10° to the east.

Refer to Appendix A Image for topographic contour information.

4. Bushfire Assessment

In accordance with Clause 2.2 of AS 3959-2018, the Simplified Procedure has been applied to determine the Bushfire Attack Level (BAL) for the proposed dwelling site. In accordance with the Code, fire-fighting water supply and vehicle access are also considered and discussed in relation to the proposed dwelling.

It should be noted that AS3959 Table 2.6 only provides BAL ratings for separation distance up to and including 50m from grassland. Therefore, grassland less than 100m but greater than 50m separation from the site has been excluded from assessment.

4.1 Bushfire Attack Level

Considering the current conditions, in accordance with AS3959-2018 the dwelling site is capable of achieving **BAL-12.5** (the minimum required standard required by the Code being BAL-29).

The desired BAL rating to be applied in this instance will be **BAL-12.5**. The vegetation within the Hazard Management Area (HMA) is to be continually managed to a low threat level - as per Clause 2.2.3.2 of AS3959-2018.

Table 1 – Bushfire Attack Level Assessment Summary and Notes

Property Details

Applicants Name	Island life designers	Phone	0422 531 710
Municipality	Kingborough Council	Zoning	Low density residential
Certificate of Title/Lot No.	127055/1	Lot Size	616m ²
Address	50 Delta Avenue, Tarooma 7053		

Type of Building Work

New Class 1a Building	<input checked="" type="checkbox"/>
New Class 10a Building	<input type="checkbox"/>
New Class 2 Building	<input type="checkbox"/>
New Class 3 Building	<input type="checkbox"/>
Alteration/Additions to an existing building	<input type="checkbox"/>

Description of building work: e.g. *single dwelling with attached garage*

New ancillary dwelling

Bush Fire Attack Level (BAL)

Relevant fire danger index: (see clause 2.2.2)

FDI 50

Assess the vegetation within 100m in all directions (tick relevant group)

Note 1: Refer to table 2.3 and figures 2.3 & 2.4 for description and classification of vegetation.

Note 2: If there is no classified vegetation within 100m of the site then the BAL is LOW for that part of the site.

Vegetation Classification (See Table 2.3)	North <input checked="" type="checkbox"/>	South <input checked="" type="checkbox"/>	East <input checked="" type="checkbox"/>	West <input checked="" type="checkbox"/>
	North East <input type="checkbox"/>	South-West <input type="checkbox"/>	South-East <input type="checkbox"/>	North-West <input type="checkbox"/>
Group -	Low threat veg.	Forest	Low threat veg.	Low threat veg.

Exclusions (where applicable)	Circle relevant paragraph descriptor from clause 2.2.3.2			
	(a) (b) (c) (d) (e) (f)	(a) (b) (c) (d) (e) (f)	(a) (b) (c) (d) (e) (f)	(a) (b) (c) (d) (e) (f)

Distance of the site from classified vegetation (see clause 2.2.4)

Distance to classified vegetation	Show distances in meters			
	N/A	50m	N/A	64m

Effective Slope	Upslope			
Slope under the classified vegetation	Upslope/0° X	Upslope/0° X	Upslope/0°	Upslope/0° X
	Downslope			
	>0 to 5° <input type="checkbox"/>	>0 to 5° <input type="checkbox"/>	>0 to 5° <input type="checkbox"/>	>0 to 5° <input type="checkbox"/>
	>5 to 10° <input type="checkbox"/>	>5 to 10° <input type="checkbox"/>	>5 to 10° X	>5 to 10° <input type="checkbox"/>
	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>	>10 to 15° <input type="checkbox"/>
	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>	>15 to 20° <input type="checkbox"/>

Proposed BAL Value	BAL- LOW	BAL-12.5	BAL- LOW	BAL- 12.5
Separation to achieve BAL-29	N/A	16-<23m	N/A	16-<23m
Separation to achieve BAL-19	N/A	23-<32m	N/A	23-<32m
Separation to achieve BAL-12.5	N/A	32-<100m	N/A	32-<100m

Construction Requirements

For this particular development a BAL-12.5 rating would suit all directions of this site, construction will be generally compliant with AS3959 -2018 Sections 3 and 5.

4.2 Road / Vehicle Access

The primary access to the lot is from a sealed public road – Delta Avenue. There is an existing driveway which services the site and the existing dwelling which is compliant for the required bushfire provisions.

4.3 Water Supply

This site is in a serviced area that has access to a reticulated water system for firefighting. There are currently two hydrants located in Delta Avenue that are both within 120m of hose lay of the dwelling and proposed shed.

5. Conclusion

The site has been classified as **BAL-12.5** as per the assessment processes outlined in AS3959-2018. The separation distances shown above are the areas to be maintained and kept in a way to reduce the fuel loads present in order to achieve lower BAL ratings. For this particular site and for where the proposed dwelling is to be constructed, a **BAL-12.5** rating would be achieved and would suit all directions of the site.

6. References

Directors Determination –requirements for building in bushfire prone areas v2.3 (the Code).

LIST map version. Aerial Photograph [online]. Available from:
<http://www.thelist.tas.gov.au/listmap/listmap>

Standards Australia 2018, *Construction of buildings in bushfire prone areas*, AS 3959-2018.

Statement

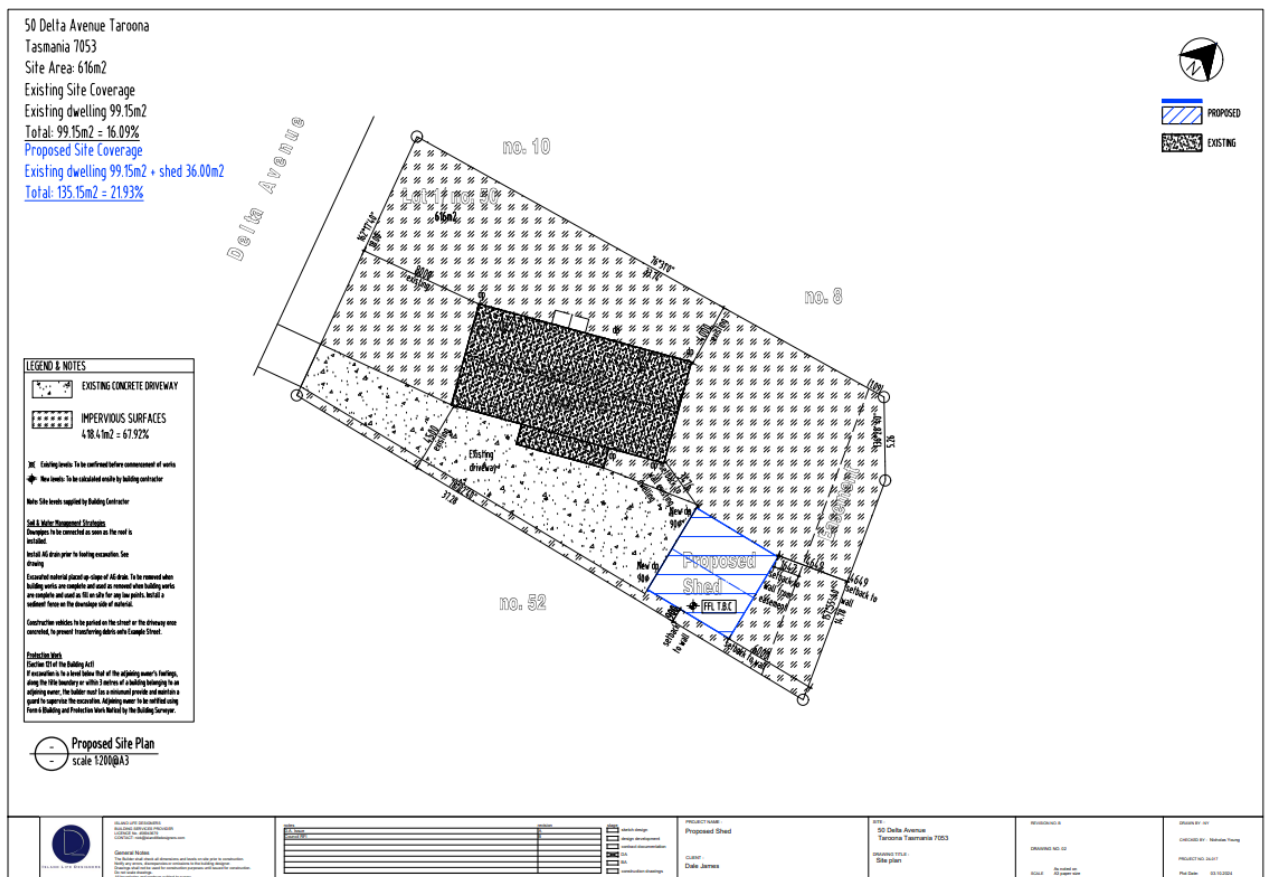
I have taken all reasonable steps to ensure that the information provided in this assessment is accurate and reflects the conditions on and around the site and allotment on the date of this assessment.

It should be noted that this report does not take into account the possibility of altered site conditions either naturally occurring or where currently maintained or excluded vegetation conditions change due to lack of ongoing maintenance. Compliance with the recommendations contained in this assessment does not mean that there is no residual risk to safety of life or property as a result of bushfire.

Signed: 

Date: 26/11/2024.....

Appendix B – Site Images and designers site plan





Looking North



Looking South



Looking East



Looking West

HAZARD MANAGEMENT AREAS - HMA

Hazard Management Area includes the area to protect the Building as well as the access and water supplies. The entirety of this allotment should be treated as HMA.

Vegetation in the Hazard Management area is to be managed and maintained in a minimum fuel condition.

The HMA is determined from the unmanaged vegetation on neighbouring allotments, and should the level of the unmanaged vegetation increase the BHMP and HMA should be reviewed to determine the ongoing suitability of the BHMP and HMA associated with the development.

MAINTENANCE SCHEDULE

- Removal of fallen limbs, leaf and bark litter;
- Cut lawns short (less than 100mm) and maintain;
- Remove pine bark and other garden mulch;
- Complete under-brushing and thin out the under storey;
- Prune low hanging trees to ensure separation from ground litter;
- Prune larger trees to establish and maintain horizontal and vertical canopy separation;
- Maintain storage of petroleum fuels;
- Maintain access to the dwelling and water storage area Remove fallen limbs, leaf and bark litter from roofs, gutters and around the building;

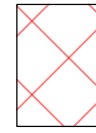
BUSHFIRE PROTECTION MEASURES

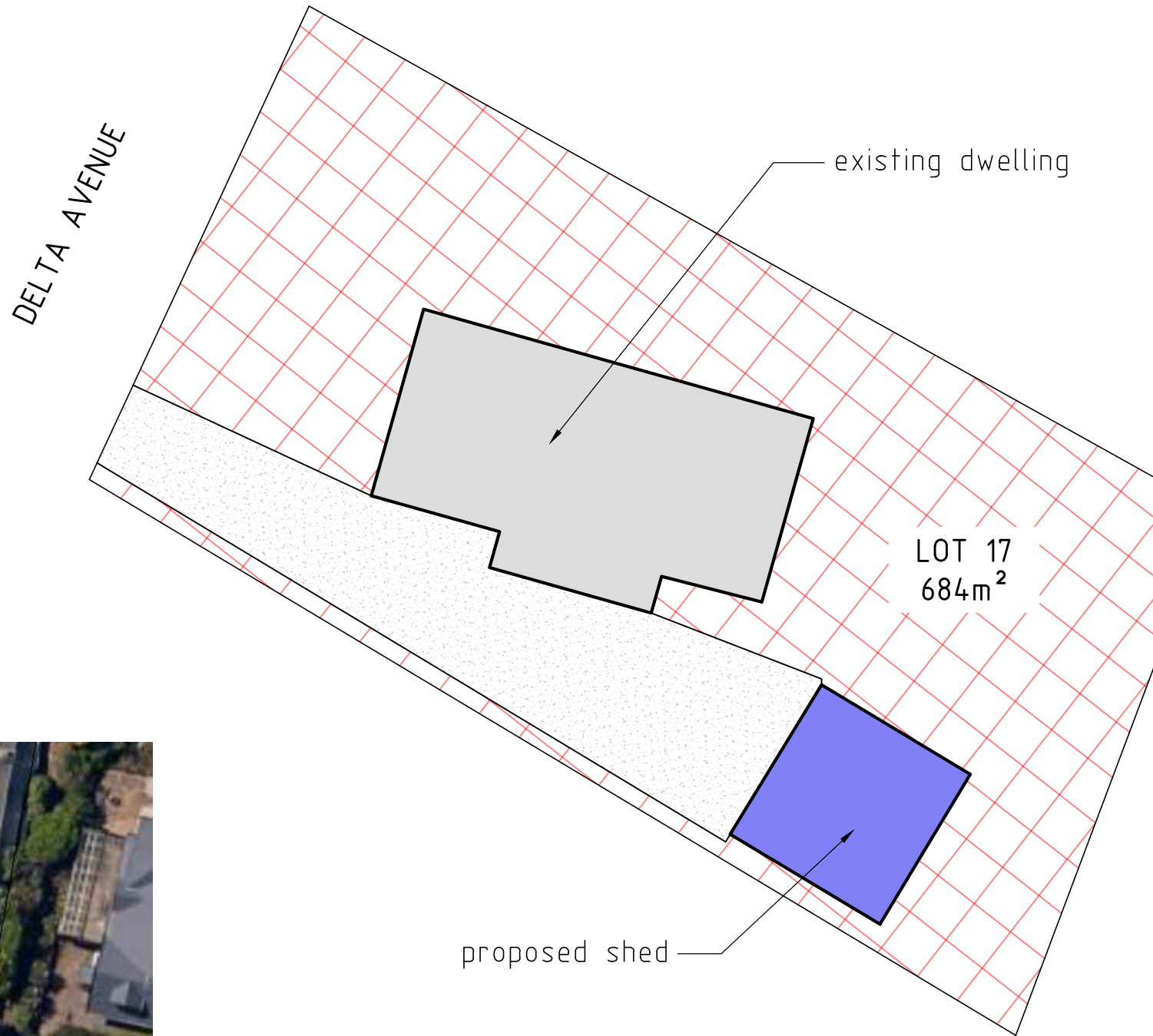
To reduce the risk of bushfire attack, continual maintenance of bushfire protection measures including building maintenance, managed vegetation areas, water supply and road construction are to be undertaken by successive owners for perpetuity.

PLAN TO BE READ IN CONJUNCTION WITH BUSHFIRE ATTACK LEVEL (BAL) REPORT

NOTIFY COUNCIL AND CERTIFYING BUSHFIRE PRACTITIONER IF ANY VARIATION IN BUILDING SETOUT OR VEGETATION HAZARDS OCCUR

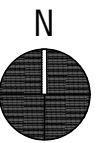
ENSURE THIS PLAN AND ACCOMPANYING REPORT DO NOT CONFLICT WITH OTHER RELEVANT REPORTS AND ASSESSMENTS

 **HAZARD MANAGEMENT AREA**
Low threat, maintained vegetation in accordance with AS 3959 - Clause 2.2.3.2 (e) & (f). Building is to be constructed to meet BAL-12.5 requirements



Prepared By David Lyne - BFP 144

Island Life Designers
50 Delta Avenue, Tarooma
Tasmania 7053
Job No: 1592



11 GRANVILLE AVENUE
GILSTON BAY, TASMANIA 7015
PH: 0421 852 987 EMAIL: dave_lyne@hotmail.com
Accredited Designer: David Lyne CC7063

PLEASE READ CAREFULLY

THIS PLAN CERTIFIED CORRECT IS THE ONE REFERRED TO IN THE BUILDING CONTRACT AND I UNDERSTAND CHANGES HEREAFTER MAY NOT BE POSSIBLE.

FINAL PLAN: ANY REQUESTED VARIATIONS TO YOUR HOUSE PLAN WILL INCUR AN AMENDMENT / ADMINISTRATION MINIMUM FEE

SIGNATURES

CLIENT: DATE:

CLIENT: DATE:

BUILDER:..... DATE:

DWG NO: 1592	SHEET: 01
SCALE AT A3: 1:200	DATE: 26.11.2024
DRAWN:DL	CHECK: DL
REV 0	

BHMP
SCALE 1:200

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To: Owner /Agent
 Address
 Suburb/postcode

Form **55**

Qualified person details:

Qualified person:
Address: Phone No:
 Fax No:
Licence No: Email address:

Qualifications and Insurance details: *(description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Speciality area of expertise: *(description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)*

Details of work:

Address: Lot No:
 Certificate of title No:

The assessable item related to this certificate: *(description of the assessable item being certified)*
Assessable item includes –
- a material;
- a design
- a form of construction
- a document
- testing of a component, building system or plumbing system
- an inspection, or assessment, performed

Certificate details:

Certificate type: *(description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)*

This certificate is in relation to the above assessable items, at any stage, as part of – *(tick one)*

building work, plumbing work or plumbing installation or demolition work

OR

a building, temporary structure or plumbing installation

In issuing this certificate the following matters are relevant

Documents:

Bushfire Hazard Report – New shed

Bushfire Hazard Management Plan

Relevant

- In Accordance with AS3959-2018; and
- the Building Regulations (TAS).

calculations:

References:

- AS3959-2018;
- the Building Regulations (TAS); and
- Building Code of Australia (BCA).

Substance of Certificate: (what it is that is being certified)

The above mentioned report concludes that a BAL-12.5 rating is achievable and easily maintained for this site and development

Scope and/or Limitations

The assessment has been conducted according to information provided by the designer/client and freely available historical data and does not take into account the possibility of altered site conditions from the data relied upon.

It should be noted compliance with the recommendations contained in the certified documents does not mean that there is no residual risk to life safety and property as a result of bushfire. The limitation is expressed in the following extract from AS3959-2018, which states:

It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions.

The level of residual risk is inherent in all bushfire standards and also applies to this certification.

The assessment has been undertaken and certification provided on the understanding that; -


1. The certificate only deals with the potential bushfire risk all other statutory assessments are outside the scope of this report.

2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken and cannot be relied upon for any future development. Impacts of future development and vegetation growth have not been considered.

I certify the matters described in this certificate.

Qualified person:

Signed:



Certificate No:

1592/24

Date:

26/11/2024