

APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2024-343
Proposal: Pool
Subject Site: 75 Draper Road, Howden
Responsible Planning Officer: Sonali Raj

Advertised Documents:

- Application Plans

Available upon request:

- Application Form
- Copy of Title

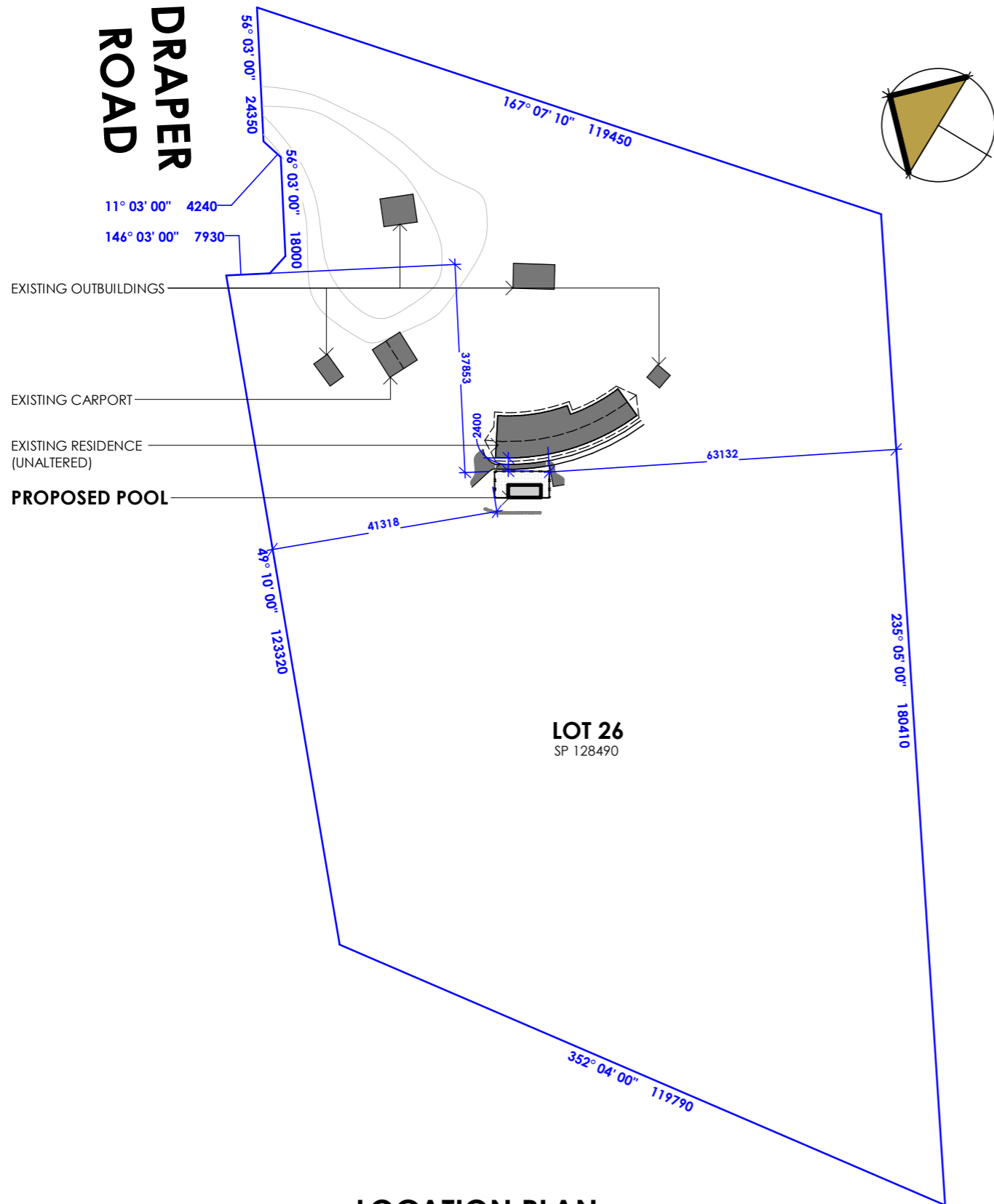
NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

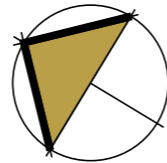
Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **29 November 2024** and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.



PROPOSED: PLUNGE POOL
AT: 75 DRAPER ROAD, HOWDEN 7054
FOR: D. & K. JONES



LOCATION PLAN
 1 : 1000



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PLUMBING NOTES:

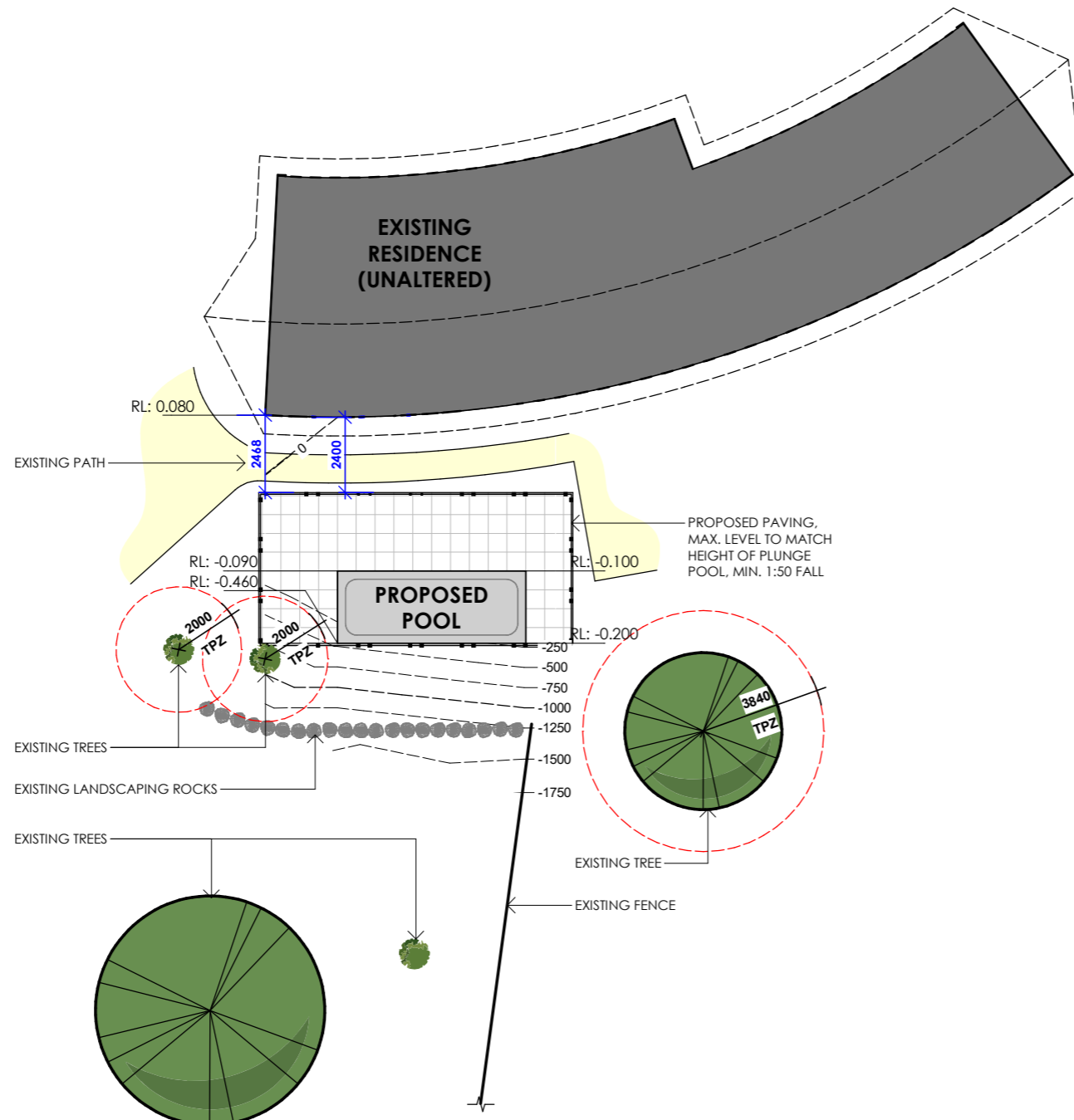
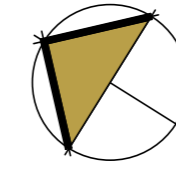
1. THE PROPOSED POOL'S PLUMBING IS A CLOSED LOOP SYSTEM. IT WILL BE FITTED WITH A CARTRIDGE FILTER WHICH REQUIRES NO BACKWASH AND WILL BE CLEANED EXTERNALLY. IN THE EVENT WATER REMOVAL IS REQUIRED, A 'CHLORINE REMOVER' WILL BE ADDED, AND THE WATER DRAINED EXTERNALLY INCREMENTALLY TO GARDEN.
2. PROPOSED PAVING TO BE PERVIOUS ON BEDDING SEND MEANING NO PROVISIONS HAVE BEEN MADE FOR SURFACE DRAINAGE.

ISSUE	AMENDMENT DETAILS
A	ISSUED FOR CLIENT REVIEW JG - 27/09/2024
B	RE-ISSUED FOR DEVELOPMENT APPROVAL JG - 07/11/2024
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Kingborough Council
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 Plan Reference No: P2
 Date Received: 07/11/2024
 Date placed on Public Exhibition: 16/11/2024

PLUMBING NOTES:

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- 2.



PART SITE PLAN
1 : 200

DRAINAGE NOTES:

- SITE DRAINAGE SHALL COMPLY WITH NCC 3.1.2 'DRAINAGE' AND AS3500 NATIONAL PLUMBING DRAINAGE CODE.
- BASE OF CUT GRADED TO SILT TRAP AT 1:100 MIN. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.
- TEMPORARY DOWNPIPES CONNECTED TO THE STORM WATER SYSTEM TO BE INSTALLED AS SOON AS ROOF COVER IS COMPLETED.
- STORMWATER DRAINS ARE INDICATIVE ONLY. DRAINER TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION.

- GRADE SURFACE AWAY FROM HOUSE FOOTINGS (MINIMUM FALL 1:20).
- GRADED INLET PIT CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE.
- PROVIDE AG DRAIN AT BASE OF CUT GRADED TO SILT PIT AT 1:100 MIN.
- SILT PIT CONNECTED TO AG DRAIN & DIRECTED TO LEGAL POINT OF DISCHARGE VIA STORMWATER SYSTEM.

SITE ANALYSIS

OPEN AREA	19276.76 m ²	98.41%
TOTAL PERMEABLE SPACE	19276.76 m ²	98.41%
EXISTING OUTBUILDING	9.00 m ²	0.05%
EXISTING OUTBUILDING	33.73 m ²	0.17%
EXISTING OUTBUILDING	31.13 m ²	0.16%
EXISTING CARPORT	35.58 m ²	0.18%
EXISTING OUTBUILDING	15.03 m ²	0.08%
EXISTING RESIDENCE	172.83 m ²	0.88%
SWIMMING POOL	13.80 m ²	0.07%
TOTAL HARD COVER	311.10 m ²	1.59%
SITE AREA	19587.86 m ²	100.00%



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CUT & FILL NOTES:

GENERAL NOTES / ANNOTATIONS

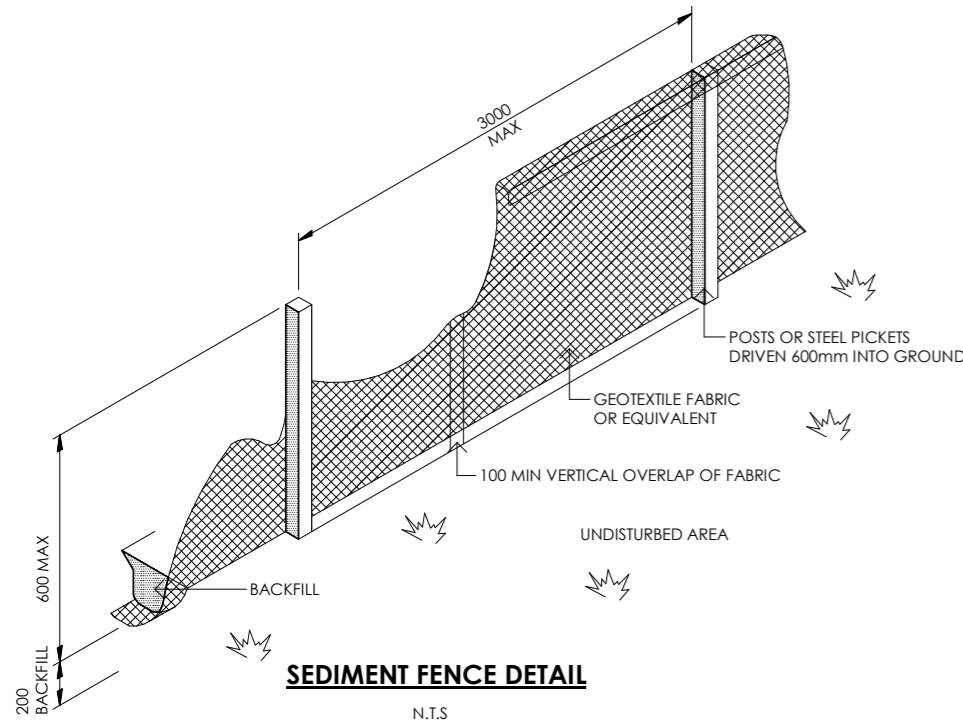
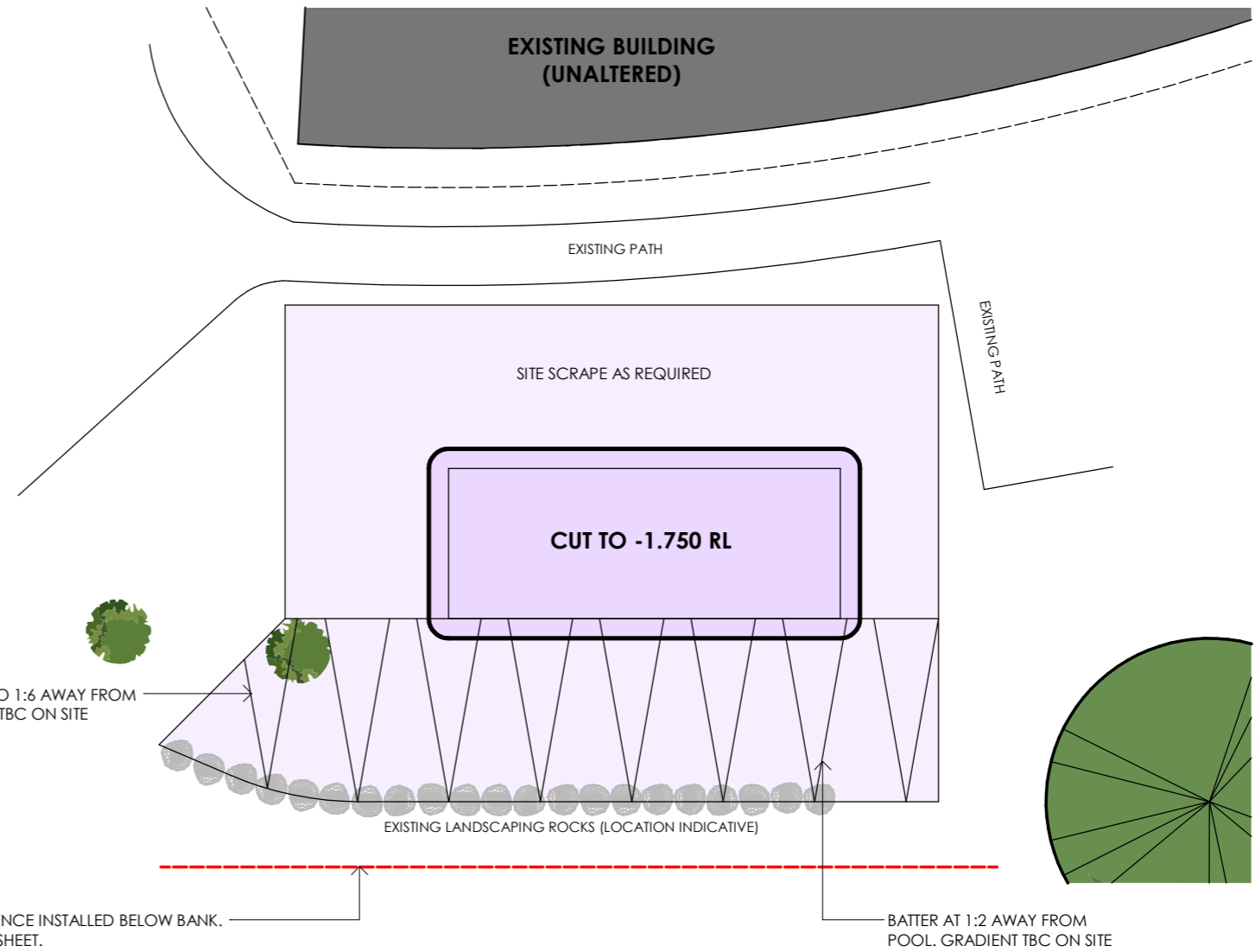
- EXCAVATED MATERIAL FROM FOUNDATIONS SHALL REMAIN STOCKPILED ON SITE FOR ANY REQUIRED SITE REHABILITATION / FILL AND LANDSCAPING AT COMPLETION, ANY EXCESS TO BE TAKEN TO LOCAL REFUSE SITE. EXCAVATED MATERIAL STOCKPILED ON SITE TO BE PROTECTED AND DIVERSION DRAINAGE PROVIDED.
- IDENTIFY AREAS OF BARE SOIL ESPECIALLY ON SLOPES GREATER THAN 3:1 THAT MAY NEED EROSION CONTROL MATS OR EROSION CONTROL BLANKETS.
- PROVIDE 600H GEOFABRIC OR EQUIVALENT WATER PERMEABLE SEDIMENT FENCE. (SEE DETAIL THIS DRAWING) SEDIMENT FENCE TO REMAIN IN PLACE FOR DURATION OF WORKS.
- STABILISED SITE ACCESS VIA GRAVEL EXISTING DRIVEWAY
- 600H GEOFABRIC SEDIMENT FENCE
- IT IS THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL, MAINTAIN AND (UPON COMPLETION) REMOVE ALL SEDIMENT CONTROL MEASURES.
- SEDIMENT FENCE TO BE CHECKED AND CLEANED DAILY TO PREVENT BREAKAGE AND OVERTOPPING.
- THE SITE/AREAS BEING EXCAVATED SHALL BE ADEQUATELY BARRICADED TO PROTECT THE CONTRACTORS OR PUBLIC FROM INJURY.

SITE CUT/FILL LEGEND & NOTES

-  DENOTES AREA OF SITE CUT
-  DENOTES AREA OF SITE FILL

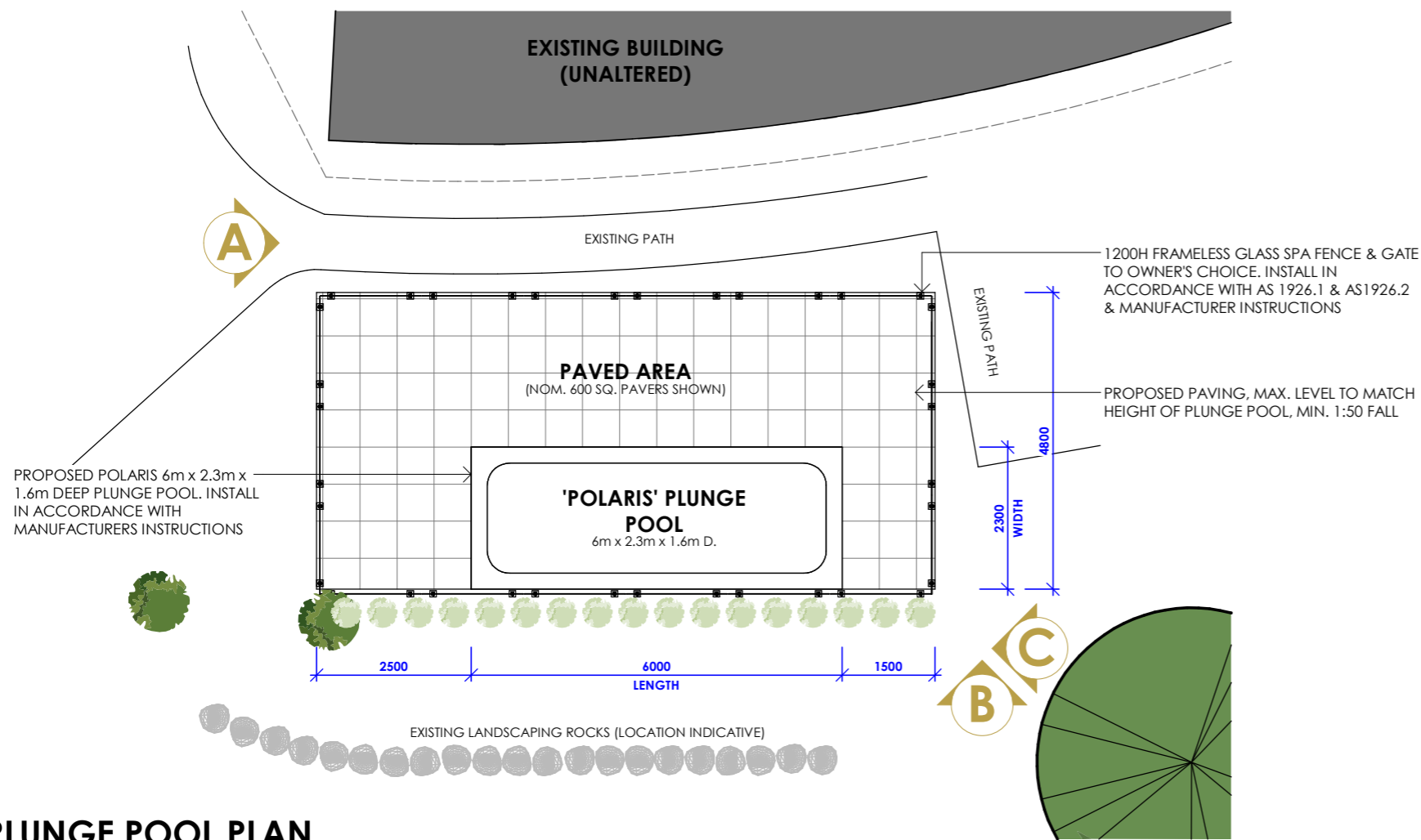
PLUMBING NOTES:

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CUT & FILL + WASTEWATER MANAGEMENT PLAN
1 : 100

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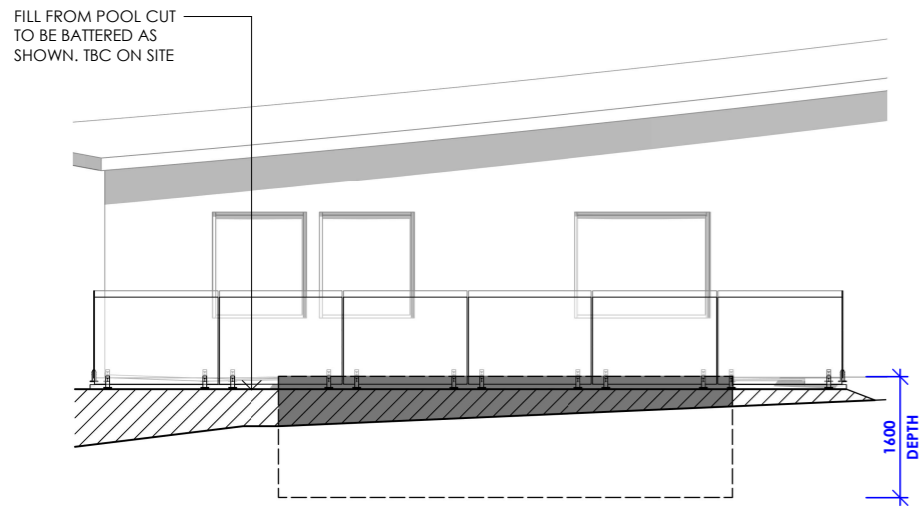
GENERAL NOTES:

- WRITTEN DIMENSIONS ALWAYS TAKE PREFERENCE OVER SCALE
- BUILDER MAY ADJUST GARAGE DOOR HEIGHT ON SITE AS REQUIRED
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
 - * EXTERNAL 240mm = 110 BRICK, 40 CAVITY, 90 STUD
 - * INTERNAL 90mm STUD
- ALL INTERNAL DOORS TO BE 2040H (2340H NOTED WITH ASTERISK - 820*)
- PROVIDE REMOVABLE HINGES TO HINGED WC & POWDER ROOM DOORS
- WHERE INDICATED (LH)
- PROVIDE WEATHER STRIPS TO FRONT ENTRY DOOR
- 600x600 CEILING ACCESS MANHOLE LOCATION
- SMOKE DETECTOR (INTERCONNECTED WITH BATTERY BACKUP)
- ENGINEER DESIGNED BEAM - (EDB)
- DOUBLE GLAZING - (DGL)
- BRICKWORK ARTICULATION JOINT
- EXTERNAL PLUMBING POINTS TO PLUMBER'S DISCRETION
- SAFETY GLASS WHERE WINDOW IS WITHIN 2m OF SHR/BATH BASE
- BIB TAP RECYCLED TAP
- GAS METER - 1m CLEARANCE TO OPENINGS & IGNITION SOURCES
- HWS WATER SERVICE TO BE 500mm CLEAR OF BLDG OPENINGS

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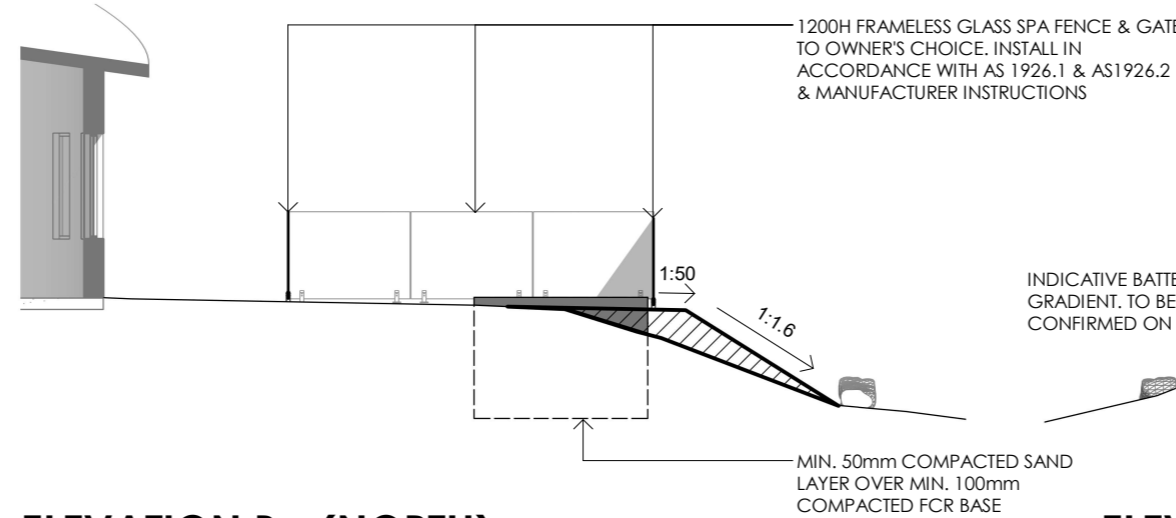
PLUNGE POOL PLAN

1 : 100



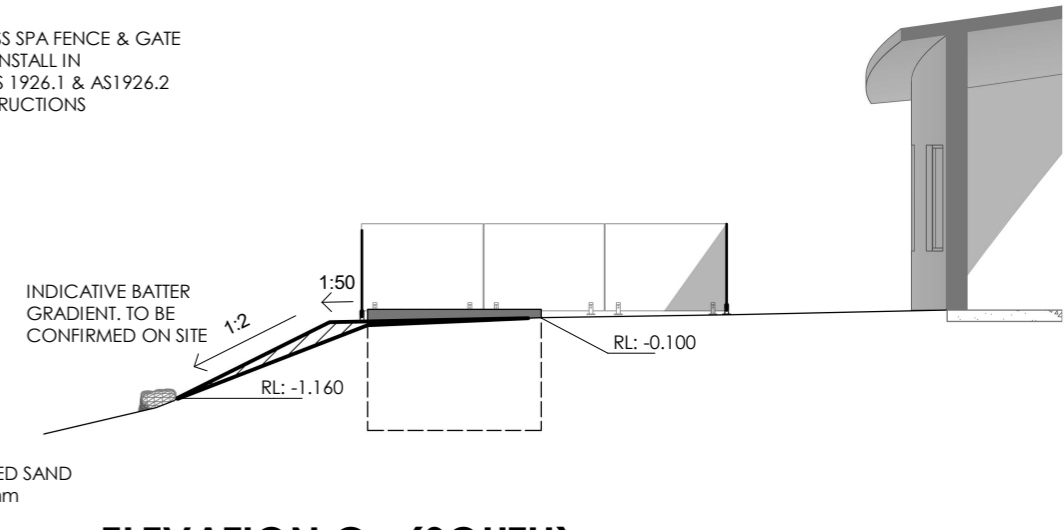
ELEVATION A - (WEST)

1 : 100



ELEVATION B - (NORTH)

1 : 100



ELEVATION C - (SOUTH)

1 : 100