APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2024-343

Proposal: Pool

Subject Site: 75 Draper Road, Howden

Responsible Planning Officer: Sonali Raj

Advertised Documents:

Application Plans

Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **29 November 2024** and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.



GENERAL NOTES (ABCB Housing Provisions 2022)

INTELLECTUAL PROPERTY AND USE OF THIS DOCUMENT

- THIS DOCUMENT HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT OF HARGREAVES DESIGN GROUP FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT TH DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE
- THIS DOCUMENT IS TO BE READ IN CONJUNCTION WITH ALL DRAWINGS, DETAILS AND INFORMATION PROVIDED BY THE CONSULTANTS NAMED HEREIN, AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.
- A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THIS DOCUMENT IS CONDITIONAL ON THE CLIENT OBTAINING THE REQUIRED BUILDING PERMIT.

MATERIALS AND TRADE PRACTICES

- ALL MATERIALS, CONSTRUCTION AND WORK PRACTICES SHALL COMPLY WITH BUT NOT BE LIMITED TO THE CURRENT ISSUE OF THE MOST UP TO DATE BUILDING REGULATIONS FOR THE RELEVANT STAGE, NATIONAL CONSTRUCTION CODE 2022 ABCB STORMWATER AND SEWERS HOUSING PROVISIONS 2022 (HEREAFTER REFERRED TO AS ABCBHP), AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS
- WORK AND SITE MANAGEMENT PRACTICES SHALL COMPLY WITH ALL RELEVANT LAWS AND BY-LAWS.
- IF ANY PERFORMANCE SOLUTION IS PROPOSED, IT SHALL BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER AS MEETING ABCBHP PERFORMANCE REQUIREMENTS PRIOR TO IMPLEMENTATION OR **INSTALLATION**
- INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY'S REQUIREMENTS.

- SHOULD ANY CONFLICT ARISE BETWEEN THESE PLANS AND ABCBHP, AUSTRALIAN STANDARDS OR A MANUFACTURER'S INSTRUCTIONS, THIS DISCREPANCY SHALL BE REPORTED IMMEDIATELY TO THE DESIGNER, BEFORE ANY OTHER ACTION IS
- THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF THE DESIGNER, EXCEPT WHERE THE RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION, AND WHERE SUCH CHANGES ARE REPORTED BACK TO THE DESIGNER WITHIN 48 HOURS OF THEIR MAKING.
- THE APPROVAL BY THE DESIGNER OF A SUBSTITUTE MATERIAL, WORK PRACTICE OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY VARIATIONS AND/OR SUBSTITUTIONS TO MATERIALS OR WORK PRACTICES SHALL BE ACCEPTED BY ALL PARTIES TO THE BUILDING CONTRACT AND, WHERE APPLICABLE, THE RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER, PRIOR TO IMPLEMENTATION.

- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS
- SITE PLAN MEASUREMENTS ARE IN MILLIMETRES. ALL OTHER MEASUREMENTS ARE IN MILLIMETRES, UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, DIMENSIONS ON FLOOR PLANS, SECTIONS AND EXTERNAL ELEVATIONS REPRESENT TIMBER FRAME AND STRUCTURAL MEMBERS, NOT FINISHED LININGS/CLADDING.
- WINDOW SIZES ARE NOMINAL ONLY, ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER AND ON SITE FRAMING MFASURFMENTS.
- THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS, SPECIFICATIONS, AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION.

SITE PROTECTION DURING THE CONSTRUCTION PERIOD

- PROTECTIVE OUTRIGGERS, FENCES, AWNINGS, HOARDING, BARRICADES AND THE LIKE SHALL BE INSTALLED WHERE NECESSARY TO GUARD AGAINST DANGER TO LIFE OR PROPERTY OR WHEN REQUIRED BY THE RELEVANT BUILDING SURVEYOR AND/OR COUNCIL.
- WHERE REQUIRED BY COUNCIL, THE BUILDER SHALL CONSTRUCT A TEMPORARY CROSSING PLACED OVER THE FOOTPATH
- A SITE MANAGEMENT PLAN SHALL BE IMPLEMENTED FROM THE COMMENCEMENT OF WORKS, TO CONTROL SEDIMENT RUN-OFF IN ACCORDANCE WITH RELEVANT STATE/COUNCIL GUIDELINES OR REGULATION. SILT FENCES SHALL BE PROVIDED TO THE LOW SIDE OF THE ALLOTMENT AND AROUND ALL SOIL STOCKPILES AND STORM WATER INLET PITS/SUMPS AND 'SILT STOP' FILTER BAGS OR EQUIVALENT SHALL BE PLACED OVER ALL STORM WATER ENTRY PITS. EROSION CONTROL FABRIC SHALL BE PLACED OVER GARDEN BEDS TO PREVENT SURFACE EROSION.
- DUST-CREATING MATERIAL SHALL BE KEPT SPRAYED WITH WATER SO AS TO PREVENT ANY NUISANCE FROM DUST
- WASTE MATERIALS SHALL NOT BE PLACED IN ANY STREET, ROAD OR RIGHT OF WAY.
- EARTHWORKS (UNRETAINED) SHALL NOT EXCEED 2M.
 CUT AND FILL BATTERS SHALL COMPLY WITH ABCBHP FIGURE 3.3.2.

PROTECTION OF THE BUILDING FABRIC

- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.
 WINDOWS, DOORS AND SERVICE PENETRATIONS SHALL BE FLASHED ALL AROUND.
- ALL PLIABLE MEMBRANES SHALL BE INSTALLED TO COMPLY AND BE IN ACCORDANCE WITH ABCBHP 10.8.1 GUTTERS AND DRAINAGE SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH AS3500.3.
- ANTI-PONDING DEVICES/BOARDS SHALL BE INSTALLED ACCORDING TO ABCBHP 7.3.5.
- DAMPCOURSES WITH WEEPHOLES AND CAVITY FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH AS4773.2. SURFACES AROUND THE PERIMETER OF A RESIDENTIAL SLAB SHALL FALL AWAY FROM THAT SLAB BY NOT LESS THAN 50MM OVER THE FIRST 1M. WHERE NOT STIPULATED IN THE GEOTECHNICAL REPORT, FREEBOARD SHALL BE NOT LESS THAN 50MM FROM AN IMPERMEABLE SURFACE OR 150MM FROM A PERMEABLE SURFACE.
- SUBFLOOR VENTS SHALL BE LOCATED >600MM FROM CORNERS AND BE INSTALLED BELOW BEARERS. SUCH VENTS SHALL PROVIDE A RATE PER 1000MM RUN OF EXTERNAL OR INTERNAL CROSS WALLS OF
 - 7,500MM² CLEAR VENTILATION WHERE PARTICLE BOARD FLOORING IS USED; OR
- 6,000MM² FOR OTHER SUBFLOOR TYPES.
- WHERE A BUILDING OTHER THAN DETACHED CLASS 10 IS LOCATED IN A TERMITE-PRONE AREA. THE BUILDING SHALL BE PROVIDED WITH A TERMITE MANAGEMENT SYSTEM COMPLIANT WITH AS3660.1 OR AS3660.2. BUILDING TIE-DOWNS SHALL BE APPROPRIATE FOR THE SITE WIND CLASSIFICATION AND PROVIDED IN ACCORDANCE WITH
- ABCBHP 5.6.6. CORROSION PROTECTION SHALL BE SUITED TO THE SITE CONTEXT AND PROVIDED FOR BUILT-IN STRUCTURAL STEEL MEMBERS •
- SUCH AS STEEL LINTELS, SHELF ANGLES, CONNECTORS, ACCESSORIES (OTHER THAN WALL TIES) IN ACCORDANCE WITH TABLE 4.1 OF AS4773.1 MASONRY IN SMALL BUILDINGS, PART 1: DESIGN.
- SHEET ROOFING SHALL BE PROTECTED FROM CORROSION IN A MANNER APPROPRIATE TO THE SITE CONTEXT, IN ACCORDANCE WITH ABCBHP TABLE 7.2.2A.
- SINGLE LEAF MASONRY WALLS SHALL BE WEATHERPROOFED PER ABCBHP 5.7.6
- IN CLIMATE ZONES 6, 7 AND UNLESS EXCLUDED BY ABCBHP 10.8.3(2) ROOFS SHALL BE PROVIDED WITH VENTILATION OPENINGS PER ABCBHP 10.8.3.
- EXTERNAL WATERPROOFING FOR ON FLAT ROOFS, ROOF TERRACES, BALCONIES AND TERRACES AND OTHER SIMILAR HORIZONTAL SURFACES LOCATED ABOVE INTERNAL SPACES OF A BUILDING SHALL COMPLY WITH ABCBHP H2D8.
- WATERPROOFING OF WET AREAS BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY
- COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH ABCBHP 10.2
- BALCONY WATERPROOFING SHALL BE INSTALLED IN ACCORDANCE WITH AS4654.1 & AS4654.2.+

- GLAZED UNITS SHALL BE INSTALLED IN ACCORDANCE WITH ABCBHP 8.3.2
- FULLY FRAMED GLAZING INSTALLED IN THE PERIMETER OF BUILDINGS SHALL COMPLY WITH ABCBHP 8.3.3. GLASS - INCLUDING, BUT NOT LIMITED TO, WINDOWS, DOORS, SCREENS, PANELS, SPLASHBACKS AND BARRIERS - SHALL COMPLY WITH ABCBHP 3.3.3
- GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH ABCBHP 8.4.

- FOOTINGS SHALL NOT, UNDER ANY CIRCUMSTANCE, ENCROACH OVER TITLE BOUNDARIES OR FASEMENT LINES.
- ALL CONCRETE FOOTINGS SHALL BE FOUNDED AT A DEPTH TO A MINIMUM REQUIRED BEARING CAPACITY AND/OR IN ACCORDANCE WITH RECOMMENDATIONS CONTAINED IN SOIL REPORT (OR OTHERWISE AT ENGINEER'S DISCRETION).

- COVERS TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN:
- 100MM UNDER SOIL
- 50MM LINDER PAVED OR CONCRETE AREAS
- 100MM UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
- 75MM UNDER REINFORCED CONCRETE DRIVEWAYS
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS. SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS, FOOTING/ SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

SERVICES

- SOLAR COLLECTOR PANEL LOCATIONS ARE INDICATIVE ONLY. LOCATION AND SIZE ARE DEPENDENT ON MANUFACTURER'S/INSTALLER'S RECOMMENDATION.
- DUCTWORK FOR HEATING AND COOLING SYSTEMS SHALL COMPLY WITH AS4254 & AS/NZS 4859.1 IN ACCORDANCE WITH CLIMATE ZONE REQUIREMENTS SET DOWN IN ABCBHP TABLE 3.

SAFETY OF BUILDING USERS

- WHERE STAIRS, RAMPS AND BALUSTRADES ARE TO BE CONSTRUCTED, THESE SHALL COMPLY WITH ALL PROVISIONS OF ABCBHP 11.2.
- RISERS SHALL BE 190MM MAX AND 115MM MIN
- GOINGS SHALL BE 355MM MAX AND 240MM MIN
- 2R+G SHALL BE 700MM MAX AND 550MM MIN
- THERE SHALL BE LESS THAN 125MM GAP BETWEEN OPEN TREADS. ALL TREADS, LANDINGS AND THE LIKE SHALL HAVE A SLIP RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE
- CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.
- BARRIERS SHALL BE PROVIDED WHERE IT IS POSSIBLE TO FALL 1M OR MORE FROM THE LEVEL OF THE TRAFFICABLE SURFACE TO THE SURFACE BENEATH. SUCH BARRIERS (OTHER THAN TENSIONED WIRE BARRIERS) SHALL BE:

 - 1000MM MIN ABOVE FINISHED STAIR LEVEL (FSL) OF BALCONIES, LANDINGS ETC; AND
- 865MM MIN ABOVE FSI, OF STAIR NOSING OR RAMP: AND
- VERTICAL, WITH GAPS OF NO MORE THAN 125MM.
- WHERE THE FLOOR BELOW A BEDROOM WINDOW IS 2M OR MORE ABOVE THE SURFACE BENEATH, THE WINDOW SHALL COMPLY WITH ARCRHP CLAUSE 11.3.7
- WHERE THE FLOOR BELOW A WINDOW OTHER THAN IN A BEDROOM IS 4M OR MORE ABOVE THE SURFACE BENEATH, THE WINDOW SHALL COMPLY WITH ABCBHP CLAUSE 11.3.8
- WHERE A BEDROOM WINDOW IS 2M OR MORE ABOVE THE SURFACE BENEATH, OR IT IS POSSIBLE TO FALL 4M OR MORE FROM THE LEVEL OF ANY TRAFFICABLE SURFACE TO THE SURFACE BENEATH, ANY HORIZONTAL ELEMENT WITHIN A BARRIER BETWEEN 150MM AND 760MM ABOVE THE FLOOR SHALL NOT FACILITATE CLIMBING.
- HANDRAILS SHALL BE CONTINUOUS, WITH TOPS SET >865MM VERTICALLY ABOVE STAIR NOSING AND FLOOR SURFACE OF
- WIRE BARRIERS SHALL COMPLY WITH ABCBHP 11.3.4 AND 11.3.6.
- A GLASS BARRIER OR WINDOW SERVING AS A BARRIER SHALL COMPLY WITH ABCBHP H1D8. CLASS 1 BUILDINGS WITH AIR PERMEABILITY OF NOT MORE THAN 5 M3/HR.M2 AT 50 PA SHALL BE PROVIDED WITH A
- MECHANICAL VENTILATION SYSTEM COMPLYING WITH H6V3.INWARD-OPENING SWING DOORS TO FULLY ENCLOSED SANITARY COMPARTMENTS SHALL COMPLY WITH ABCBHP CLAUSE 10.4.2.
 ALL SHOWER WALLS AND WALLS ADJACENT TO TOILET SHALL BE BRACED WITH 12MM PLY FOR FUTURE GRAB RAILS OR
- SUPPLY NOGGINGS WITH A THICKNESS OF AT LEAST 25MM IN ACCORDANCE WITH RECOMMENDATIONS OF LIVEABLE HOUSING DESIGN GUIDELINES
- FLOORING IN WET AREAS, LAUNDRY AND KITCHEN SHALL BE SLIP RESISTANT.
- DOOR HARDWARE SHALL BE INSTALLED 900MM 1100MM ABOVE THE FINISHED FLOOR.
 THERE SHALL BE A LEVEL TRANSITION BETWEEN ABUTTING INTERNAL SURFACES (A MAXIMUM VERTICAL TOLERANCE OF 5MM BETWEEN ABUTTING SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELLED).

STANDARD TIMBER ROOFING AND WALL FRAMING SHALL BE PROVIDED IN ACCORDANCE WITH AS1684 (RESIDENTIAL TIMBER-FRAMED CONSTRUCTION) AND ALL RELEVANT SUPPLEMENTS.

- SMOKE DETECTORS SHALL BE FITTED WHERE NONE ARE PRESENT, OR WHERE EXISTING ARE NON-COMPLIANT WITH AS3786 NEW SMOKE DETECTORS SHALL BE INTERCONNECTED: MAINS-POWERED: AND LOCATED AND INSTALLED PER ABCBHP 9.5.2
- AND 9.5.4. LIGHT SWITCHES SHALL BE POSITIONED IN A CONSISTENT LOCATION 900MM - 1100MM ABOVE THE FINISHED FLOOR LEVEL; HORIZONTALLY ALIGNED WITH THE DOOR HANDLE AT THE ENTRANCE TO A ROOM.
- POWER POINTS SHALL NOT BE INSTALLED LOWER THAN 300MM ABOVE FINISHED FLOOR LEVEL
- ALL ELECTRICAL PENETRATIONS SHALL BE SEALED USING MATERIAL APPROPRIATE TO THE RATING OF THE CABLE AND/OR DEVICE.
- ONLY STAMPED IC4-RATED DOWNLIGHTS SHALL BE INSTALLED AND INSULATION SHALL NOT BE PENETRATED FOR **DOWNLIGHTS** DUCTWORK FOR EXHAUST FANS AND HEATING AND COOLING SYSTEMS SHALL COMPLY WITH AS4254 & AS/NZS 4859.1 IN
- ACCORDANCE WITH CLIMATE ZONE REQUIREMENTS SET DOWN IN ABCBHP 13.7.4. EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT OR LAUNDRY SHALL BE DISCHARGED DIRECTLY VIA AN INSULATED SHAFT OR R1 INSULATED DUCTING TO OUTDOOR AIR. MINIMUM FLOW RATES SHALL BE:
- 40 L/S FOR KITCHEN & LAUNDRY
- 25 L/S FOR BATHROOM OR SANITARY COMPARTMENT.
- AN EXHAUST SYSTEM THAT IS NOT RUN CONTINUOUSLY AND IS SERVING A BATHROOM OR SANITARY COMPARTMENT THAT IS NOT VENTILATED IN ACCORDANCE WITH ABCBHP 10.6.2(A) SHALL BE INTERLOCKED WITH THE ROOM'S LIGHT SWITCH; AND INCLLIDE A 10 MINUTE RUN-ON TIMER

BUILDING THERMAL PERFORMANCE

- WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY XXX, ACCREDITED THERMAL PERFORMANCE ASSESSOR DMNXXX, WITHOUT ALTERATION
- INSULATION SHALL RE INSTALLED TIGHT AND CONTINUOUS, WITHOUT GAPS AND CRACKS, HARD UP AGAINST INTERNAL LININGS (INCLUDING SUBFLOOR). THERE SHALL BE NO AIR GAP BETWEEN AN INTERNAL LINING AND INSULATION, JUNCTIONS BETWEEN INTERNAL AND EXTERNAL WALLS SHALL BE INSULATED.
- INSULATION SHALL NOT BE CRUSHED OR COMPRESSED
- BOX GUTTERS AND MANHOLE COVERS SHALL BE INSULATED TO THE SAME R-VALUE AS THE ROOF, USING INSULATION BATTS OR BLANKET OR CLOSED-CELL FOAM.
- DOWNLIGHTS SHALL BE STAMPED AS IC4 RATED, AIRTIGHT AND COVERED BY INSULATION.
- IN CLIMATE ZONES 6, 7 AND 8, A VAPOUR PERMEABLE LAYER SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS IN ALL NEW EXTERNAL WALLS, THE MATERIAL SHALL BE OVERLAPPED AND FULLY TAPED ON THE EXTERNAL SIDE TO ENSURE A TIGHT SEAL, ALL PENETRATIONS IN THE MEMBRANE SHALL BE SEALED, ENSURING THAT THE MATERIAL COVERS GAPS BETWEEN STUDS AND DOORS AND
- WINDOW FRAMES. ANY FLASHING AROUND WINDOWS SHALL BE TAPED OVER THE BUILDING WRAP. WHERE A FOIL-BACKED MEMBRANE IS USED, TIMBER BATTENS SHALL BE USED TO MINIMISE THERMAL CONDUCTION.
- ALL TRADES SHALL BE INSTRUCTED TO REPLACE ANY INSULATION THEY HAVE REMOVED IN THE COURSE OF THEIR WORK AND TO TAPE ANY CUTS/PENETRATIONS IN BUILDING WRAP, ALL PENETRATIONS SHALL BE CAULKED USING A FIT-FOR-PURPOSE FLEXIBLE SEALANT.
- ALL REDUNDANT OPENINGS SUCH AS DECOMMISSIONED CHIMNEYS AND WALL VENTS SHALL BE SEALED OFF AT TOP AND BOTTOM UNI ESS AN UNFLUED GAS HEATER IS PRESENT
- CAULKING PRODUCTS SHALL BE APPROPRIATE FOR THE INTENDED APPLICATION.
- BEFORE INSTALLING MOULDINGS, A FIT-FOR-PURPOSE, LONG-LASTING PROPRIETARY TAPE OR FLEXIBLE CAULKING PRODUCT SHALL BE LISED TO SEAL JUNCTIONS OF
- PLASTERBOARD AND FLOOR
- PLASTERBOARD AND TOP PLATE (FOR SQUARE SET CORNICES)
 VERTICAL AND HORIZONTAL PLASTERBOARD
- TOPS, BOTTOMS AND SIDES OF ARCHITRAVES AND PLASTERBOARD
- ALL EXHAUST FANS AND DUCTS, INCLUDING RANGEHOODS, SHALL BE FITTED WITH SELF-CLOSING MECHANISMS
- EXTERNAL DOORS AND WINDOWS SHALL BE DRAUGHTPROOFED PER BCA 13.4.4 USING A DURABLE, FIT-FOR-PURPOSE SEAL
- CAVITY SLIDER POCKETS SHALL BE SEALED BEFORE INSTALLATION, EITHER BY WRAPPING WITH VAPOUR PERMEABLE MEMBRANE, OR BY SCREWING PLASTER SECURELY TO THE FRAME AND APPLYING A SILICON BEAD. CONDITIONED CLASS 1 AND UNCONDITIONED CLASS 10A SPACES SHALL BE SEPARATED BY INSULATION. ANY OPENINGS BETWEEN
- SUCH SPACES SHALL BE WEATHER-STRIPPED. WINDOW SIZES NOMINATED ARE NOMINAL. ACTUAL SIZE MAY VARY MINIMALLY ACCORDING TO MANUFACTURER; HOWEVER, OPENING STYLES, OVERALL SIZE, U-VALUE AND SHGC VALUES ARE INBUILT INTO THE ENERGY RATING AND MAY NOT BE ALTERED WITHOUT THE EXPRESS APPROVAL OF THE PROJECT'S ENERGY RATER.

BUSHFIRE ATTACK LEVEL:-(BAL)

BAL-N/A

THERE IS INSUFFICIENT RISK TO WARRANT SPECIFIC CONSTRUCTION **REQUIREMENTS**

ALL HOMES TO COMPLY WITH AS 3959-2018 (BAL)

WIND SPEED ASSESSMENT:

MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS:

TBC

IMPORTANT NOTE:

THE WIND SPEED CALCULATION IS TAKEN FROM THE JOB SPECIFIC SOIL REPORT (FRONT PAGE)

STANDARD HOMES ARE DESIGNED TO SUIT A MINIMUM WIND GUST SPEED OF 33 m/s



Kingborough Council

Development Application: DA-2024-343 Plan Reference No: P2

Date Received: 07/11/2024

Date placed on Public Exhibition: 16/11/2024

EXHAUST FANS, RANGEHOODS AND THE LIKE SHALL BE INSTALLED WITH SELF-CLOSING DAMPERS



Version: 1. Version Date: 14/11/2024

proposed: PLUNGE POOL

for: D. & K. JONES drawing: **GENERAL NOTES**

2/17 Bayfield Street, Rosny Park, 7018 | P. 03 6234 6185 | hobart@hargreaves.design | www.hargreaves.design | DP-AD 13882 & 695791616

address: 75 DRAPER ROAD **HOWDEN, 7054**

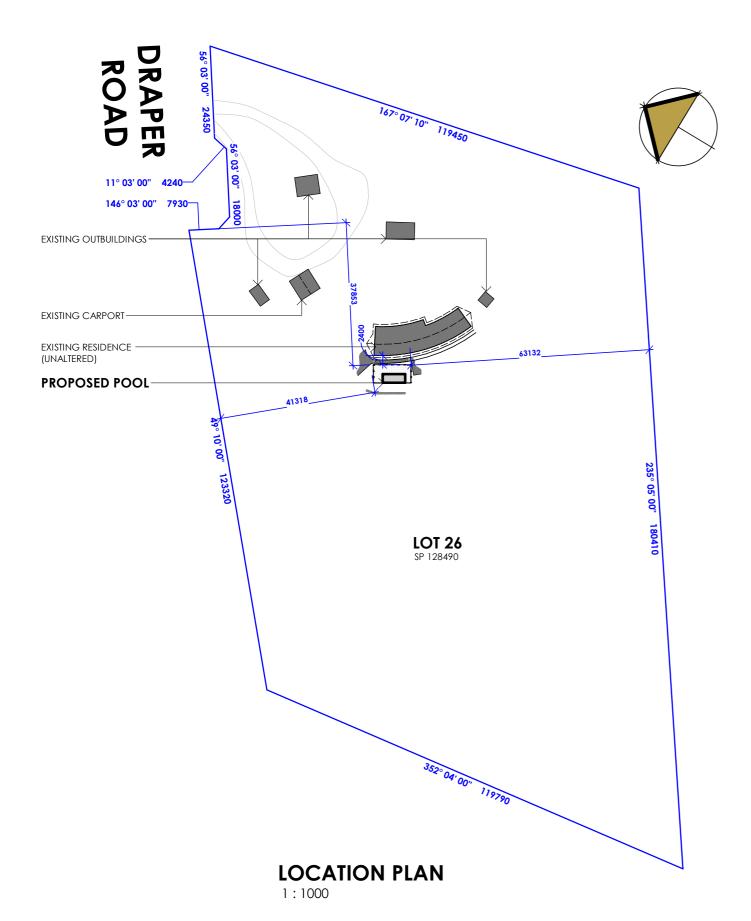
sheet: 1 of 5 issue: **B**

iob no.: **24-05661** date: 07/11/2024

© UNLESS OTHERWISE AGREED IN WRITING THESE DRAWINGS SHALL REMAIN THE PROPERTY OF HARGREAVES DESIGN GROUP

drawn: **HDG**

date: 20/09/2024scale:



PROPOSED: PLUNGE POOL AT: 75 DRAPER ROAD, HOWDEN 7054 FOR: D. & K. JONES

DRAWING INDEX	
SHEET NAME	SHEET NUMBER
GENERAL NOTES	1
LOCATION PLAN	2
PART SITE PLAN	3
CUT & FILL PLAN	4
POOL PLAN & ELEVATIONS	5

PLUMBING NOTES:

- THE PROPOSED POOL'S PLUMBING IS A CLOSED LOOP SYSTEM. IT WILL BE FITTED WITH A CARTRIDGE FILTER WHICH REQUIRES NO BACKWASH AND WILL BE CLEANED EXTERNALLY, IN THE EVENT WATER REMOVAL IS REQUIRED, A 'CHLORINE REMOVER' WILL BE ADDED, AND THE WATER DRAINED EXTERNALLY INCREMENTALLY OF GARDEN.
 PROPOSED PAVING TO BE PERVIOUS ON BEDDING SEND MEANING NO PROVISIONS
- HAVE BEEN MADE FOR SURFACE DRAINAGE.

ISSUE	AMENDMENT DETAILS
Α	ISSUED FOR CLIENT REVIEW JG - 27/09/2024
В	RE-ISSUED FOR DEVELOPMENT APPROVAL JG - 07/11/2024
С	
D	
E	
F	
G	
Н	
ı	
J	
K	
L	
м	
N	
0	
P	
Q	
R	
s	
ī	
U	
٧	

Kingborough Council

Development Application: DA-2024-343 Plan Reference No: P2 Date Received: 07/11/2024

Date placed on Public Exhibition: 16/11/2024

Document Set ID: 4538218

2/17 Bayfield Street, Rosny Park, 7018 | P. 03 6234 6185 | hobart@hargreaves.design | www.hargreaves.design | DP-AD 13882 & 695791616

for: D. & K. JONES

address: 75 DRAPER ROAD

sheet: **2** of **5**

drawing: LOCATION PLAN

HOWDEN, 7054

© UNLESS OTHERWISE AGREED IN WRITING THESE DRAWINGS SHALL REMAIN THE PROPERTY OF HARGREAVES DESIGN GROUP

proposed: PLUNGE POOL

drawn: **HDG**

date: 20/09/2024 scale: 1:1000

date: 07/11/2024

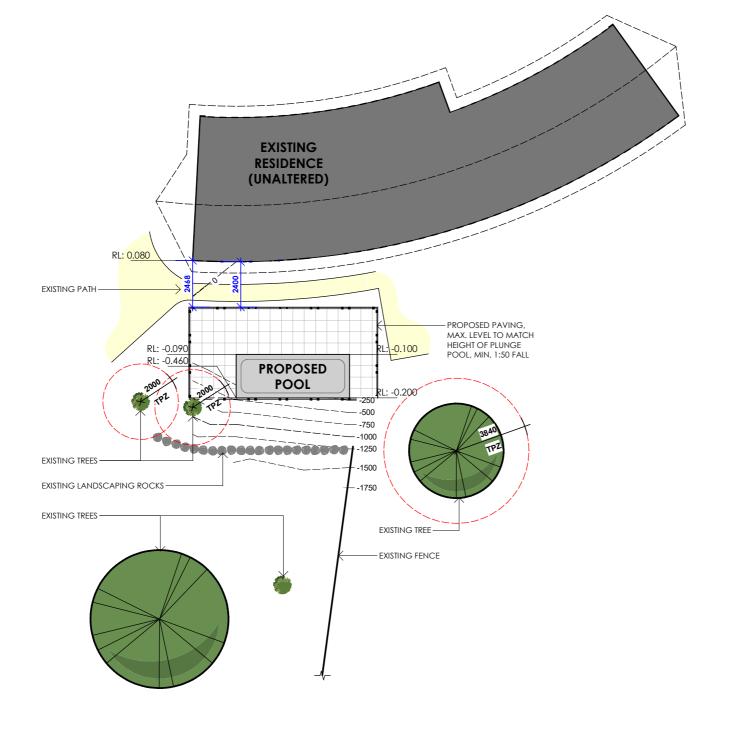
job no.: **24-05661**

PLUMBING NOTES:

- THE PROPOSED POOL'S PLUMBING IS A CLOSED LOOP SYSTEM. IT WILL BE FITTED WITH A CARTRIDGE FILTER WHICH REQUIRES NO BACKWASH AND WILL BE CLEANED EXTERNALLY, IN THE EVENT WATER REMOVAL IS REQUIRED, A 'CHLORINE REMOVER'
 WILL BE ADDED, AND THE WATER DRAINED EXTERNALLY INCREMENTALLY TO GARDEN.
- PROPOSED PAVING TO BE PERVIOUS ON BEDDING SEND MEANING NO PROVISIONS HAVE BEEN MADE FOR SURFACE DRAINAGE.







PART SITE PLAN

1:200

Kingborough Council

SITE DRAINAGE SHALL COMPLY WITH NCC 3,1,2 'DRAINAGE' AND AS3500 NATIONAL PLUMBING DR BASE OF CUT GRADED TO SILT TRAF AT 11:100 MIN. DRAINS SHALL BE PROTECTED BY GRAVEL FILIERS. TEMPORARY TO WINNING CONNECTED TO THE STORM WATER SYSTEM TO BE INSTALLED AS SOON AS

19276.76

19276.76

9.00 m²

33.73 m²

31.13 m²

35.58 m²

15.03 m²

172.83 m²

13.80 m²

311.10 m²

19587.86

m²

98.41%

98.41%

0.05%

0.17%

0.16%

0.18%

0.08%

0.88% 0.07%

1.59%

100.00%

PROVIDE AG DRAIN AT BASE OF CUT GRADED TO SILT PIT AT 1:100 MIN. SILT PIT CONNECTED TO AG DRAIN & DIRECTED TO LEGAL POINT OF DISCHARGE VIA STORMWATER SYSTEM.

SITE ANALYSIS

TOTAL PERMEABLE SPACE

EXISTING OUTBUILDING

EXISTING OUTBUILDING

EXISTING OUTBUILDING

EXISTING OUTBUILDING

EXISTING CARPORT

EXISTING RESIDENCE

TOTAL HARD COVER

SWIMMING POOL

SITE AREA

OPEN AREA

Development Application: DA-2024-343 Plan Reference No: P2 Date Received: 07/11/2024

Date placed on Public Exhibition: 16/11/2024

2/17 Bayfield Street, Rosny Park, 7018 | P. 03 6234 6185 | hobart@hargreaves.design | www.hargreaves.design | DP-AD 13882 & 695791616

proposed: PLUNGE POOL

for: D. & K. JONES drawing: PART SITE PLAN address: 75 DRAPER ROAD **HOWDEN, 7054**

© UNLESS OTHERWISE AGREED IN WRITING THESE DRAWINGS SHALL REMAIN THE PROPERTY OF HARGREAVES DESIGN GROUP drawn: **HDG**

date: 20/09/2024 scale: 1:200

sheet: 3 of 5

date: 07/11/2024

job no.: **24-05661**

ARGREAVES

DESIGN GROUP

CUT & FILL NOTES:

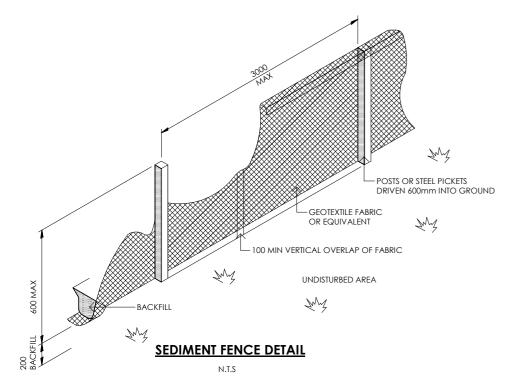
GENERAL NOTES / ANNOTATIONS

- EXCAVATED MATERIAL FROM FOUNDATIONS SHALL REMAIN STOCKPILED ON SITE FOR ANY REQUIRED SITE REHABILITATION / FILL AND LANDSCAPING AT COMPLETION, ANY EXCESS TO BE TAKEN TO LOCAL REFUSE SITE. EXCAVATED MATERIAL STOCKPILED ON SITE TO BE PROTECTED AND DIVERSION DRAINAGE PROVIDED.
- Identify areas of bare soil especially on slopes greater than 3:1 that may need erosion control mats or erosion control blankets.
- PROVIDE 600H GEOFABRIC OR EQUIVALENT WATER PERMEABLE SEDIMENT FENCE. (SEE DETAIL THIS DRAWING) SEDIMENT FENCE TO REMAIN IN PLACE FOR DURATION OF WORKS
- STABLISED SITE ACCESS VIA GRAVEL EXISTING DRIVEWAY
- 600H GEOFABRIC SEDIMENT FENCE
- IT IS THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL, MAINTAIN AND (UPON COMPLETION) REMOVE ALL SEDIMENT CONTROL MEASURES.
- SEDIMENT FENCE TO BE CHECKED AND CLEANED DAILY TO PREVENT BREAKAGE AND OVERTOPPING
- THE SITE/AREAS BEING EXCAVATED SHALL BE ADEQUATELY BARRICADED TO PROTECT THE CONTRACTORS OR PUBLIC FROM INJURY.

PLUMBING NOTES:

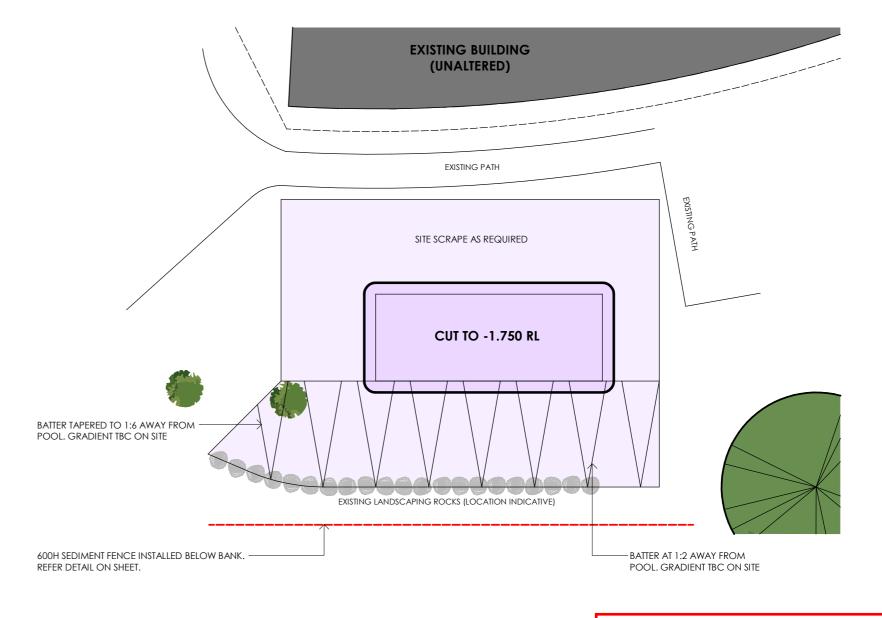
- THE PROPOSED POOL'S PLUMBING IS A CLOSED LOOP SYSTEM. IT WILL BE FITTED WITH A CARTRIDGE FILTER WHICH REQUIRES NO BACKWASH AND WILL BE CLEANED EXTERNALLY. IN THE EVENT WATER REMOVAL IS REQUIRED, A 'CHLORINE REMOVER' WILL BE ADDED, AND THE WATER DRAINED EXTERNALLY INCREMENTALLY TO GARDEN.
- WILL BE ADDED, AND THE WALLED BRAINED EXTERNALLT INCREMENTALLT TO GARDEN.

 2. PROPOSED PAVING TO BE PERVIOUS ON BEDDING SEND MEANING NO PROVISIONS HAVE BEEN MADE FOR SURFACE DRAINAGE.



proposed: PLUNGE POOL





CUT & FILL + WASTEWATER MANAGEMENT PLAN

Kingborough Council

Development Application: DA-2024-343
Plan Reference No: P2
Date Received: 07/11/2024

Date placed on Public Exhibition: 16/11/2024



2/17 Bayfield Street, Rosny Park, 7018 | P. 03 6234 6185 | hobart@hargreaves.design | www.hargreaves.design | DP-AD 13882 & 695791616

for: D. & K. JONES

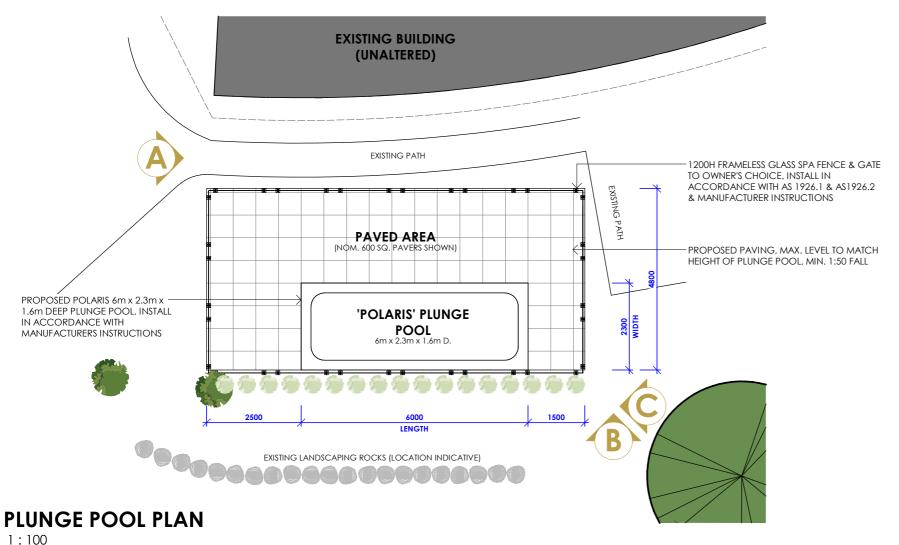
address: 75 DRAPER ROAD HOWDEN, 7054

drawing: CUT & FILL PLAN

HOVVDLIN, 703

drawn: HDG date: 20/09/2024scale: As indicated

sheet: ${\bf 4}$ of ${\bf 5}$ issue: ${\bf B}$ date: ${\bf 07/11/2024}$



PLUMBING NOTES:

- THE PROPOSED POOL'S PLUMBING IS A CLOSED LOOP SYSTEM. IT WILL BE FITTED WITH A CARTRIDGE FILTER WHICH REQUIRES NO BACKWASH AND WILL BE CLEANED EXTERNALLY. IN THE EVENT WATER REMOVAL IS REQUIRED, A 'CHLORINE REMOVER' WILL BE ADDED, AND THE WATER DRAINED EXTERNALLY INCREMENTALLY TO GARDEN.
- PROPOSED PAVING TO BE PERVIOUS ON BEDDING SEND MEANING NO PROVISIONS

GENERAL NOTES:

- WRITEN DIMENSIONS ALWAYS TAKE PREFERENCE OVER SCALE
 BUILDER MAY ADJUST GARACE DOOR HEIGHT ON SITE AS REQUIRED
 UNLESS OHERWISE INDICATED ALL WALL DIMENSIONS ARE:

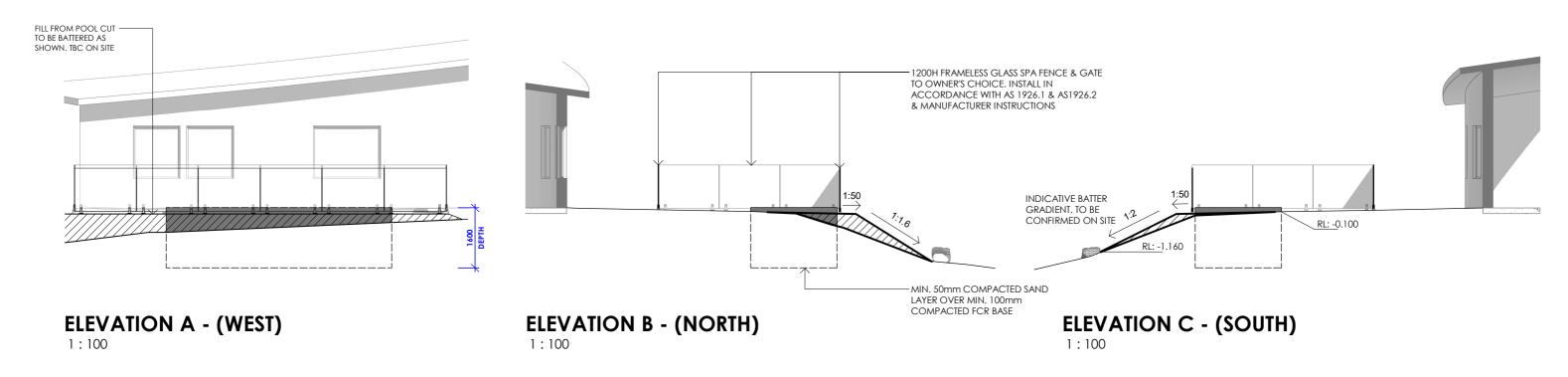
 * EXTERNAL 240mm = 11 0 BRICK, 40 CAVITY, 90 STUD

 * INTERNAL DOOR SITE OF A STUDY OF A STU
- LE GLAZING (DG) WORK ARTICULATION JOINT
- \blacksquare

Kingborough Council

Development Application: DA-2024-343 Plan Reference No: P2 Date Received: 07/11/2024

Date placed on Public Exhibition: 16/11/2024





2/17 Bayfield Street, Rosny Park, 7018 | P. 03 6234 6185 | hobart@hargreaves.design | www.hargreaves.design | DP-AD 13882 & 695791616

for: D. & K. JONES

drawing: POOL PLAN & ELEVATIONS

address: 75 DRAPER ROAD **HOWDEN, 7054**

sheet: 5 of 5

date: 07/11/2024

job no.: **24-05661**

© UNLESS OTHERWISE AGREED IN WRITING THESE DRAWINGS SHALL REMAIN THE PROPERTY OF HARGREAVES DESIGN GROUP

proposed: PLUNGE POOL

drawn: **HDG**

date: 20/09/2024 scale: 1:100