

# APPLICATION FOR PLANNING APPROVAL

**Application Number:** DA-2024-334  
**Proposal:** Dwelling and outbuilding (shed)  
**Subject Site:** 5 Old Farmhouse Court, Kingston  
**Responsible Planning Officer:** Sadhana K C

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## Advertised Documents:

- Application Plans

## Available upon request:

- Application Form
- Copy of Title
- Bushfire Hazard Report

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

## Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **29 November 2024** and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to [kc@kingborough.tas.gov.au](mailto:kc@kingborough.tas.gov.au).



# Kingborough Council

Development Application: DA-2024-334

Plan Reference No: P2

Date Received: 7/11/2024

Date placed on Public Exhibition: 16/11/2024

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**PROPOSED: DWELLING & SHED (BY OTHERS)**  
**AT: 5 OLD FARMHOUSE COURT,**  
**KINGSTON, TAS 7050**  
**FOR: D. & S. BOSKER**



ISSUE	AMENDMENT DETAILS
A	CONCEPT DESIGNS ISSUED AW - 07-08-2024
B	AMENDED CONCEPT ISSUED AW - 09-08-2024
C	PLANNING APPROVAL DRAWING SET ISSUED AW - 19-09-2024
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# Kingborough Council

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2022)

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S AND INFORMATION PROVIDED BY THE ISUED IN THE COURSE OF THE CONTRACT. RKS. THE RELEASE OF THIS DOCUMENT IS

## MATERIALS AND TRADE PRACTICES

- ALL MATERIALS, CONSTRUCTION AND WORK PRACTICES SHALL COMPLY WITH BUT NOT BE LIMITED TO THE CURRENT ISSUE OF THE MOST UP TO DATE BUILDING REGULATIONS FOR THE RELEVANT STAGE, NATIONAL CONSTRUCTION CODE 2022 ABCB HOUSING PROVISIONS 2022 (HEREAFTER REFERRED TO AS ABCBHP), AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS REFERRED TO THEREIN.
- WORK AND SITE MANAGEMENT PRACTICES SHALL COMPLY WITH ALL RELEVANT LAWS AND BY-LAWS.
- IF ANY PERFORMANCE SOLUTION IS PROPOSED, IT SHALL BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER AS MEETING ABCBHP PERFORMANCE REQUIREMENTS PRIOR TO IMPLEMENTATION OR INSTALLATION.
- INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY'S REQUIREMENTS.

## VARIATIONS

- SHOULD ANY CONFLICT ARISE BETWEEN THESE PLANS AND ABCBHP, AUSTRALIAN STANDARDS OR A MANUFACTURER'S INSTRUCTIONS, THIS DISCREPANCY SHALL BE REPORTED IMMEDIATELY TO THE DESIGNER, BEFORE ANY OTHER ACTION IS TAKEN.
- THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF THE DESIGNER, EXCEPT WHERE THE RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION, AND WHERE SUCH CHANGES ARE REPORTED BACK TO THE DESIGNER WITHIN 48 HOURS OF THEIR MAKING.
- THE APPROVAL BY THE DESIGNER OF A SUBSTITUTE MATERIAL, WORK PRACTICE OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ANY VARIATIONS AND/OR SUBSTITUTIONS TO MATERIALS OR WORK PRACTICES SHALL BE ACCEPTED BY ALL PARTIES TO THE BUILDING CONTRACT AND, WHERE APPLICABLE, THE RELEVANT BUILDING SURVEYOR/BUILDING CERTIFIER, PRIOR TO IMPLEMENTATION.

## MEASUREMENTS

- FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SITE PLAN MEASUREMENTS ARE IN MILLIMETRES. ALL OTHER MEASUREMENTS ARE IN MILLIMETRES, UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, DIMENSIONS ON FLOOR PLANS, SECTIONS AND EXTERNAL ELEVATIONS REPRESENT TIMBER FRAME AND STRUCTURAL MEMBERS, NOT FINISHED LININGS/CLADDING.
- WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER AND ON SITE FRAMING MEASUREMENTS.
- THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS, SPECIFICATIONS, AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THE DESIGNER FOR CLARIFICATION.

## SITE PROTECTION DURING THE CONSTRUCTION PERIOD

- PROTECTIVE OUTRIGGERS, FENCES, AWNINGS, HOARDING, BARRICADES AND THE LIKE SHALL BE INSTALLED WHERE NECESSARY TO GUARD AGAINST DANGER TO LIFE OR PROPERTY OR WHEN REQUIRED BY THE RELEVANT BUILDING SURVEYOR AND/OR COUNCIL.
- WHERE REQUIRED BY COUNCIL, THE BUILDER SHALL CONSTRUCT A TEMPORARY CROSSING PLACED OVER THE FOOTPATH.
- A SITE MANAGEMENT PLAN SHALL BE IMPLEMENTED FROM THE COMMENCEMENT OF WORKS, TO CONTROL SEDIMENT RUN-OFF IN ACCORDANCE WITH RELEVANT STATE/COUNCIL GUIDELINES OR REGULATION. SILT FENCES SHALL BE PROVIDED TO THE LOW SIDE OF THE ALLOTMENT AND AROUND ALL SOIL STOCKPILES AND STORM WATER INLET PITS/SUMPS AND 'SILT STOP' FILTER BAGS OR EQUIVALENT SHALL BE PLACED OVER ALL STORM WATER ENTRY PITS. EROSION CONTROL FABRIC SHALL BE PLACED OVER GARDEN BEDS TO PREVENT SURFACE EROSION.
- DUST-CREATING MATERIAL SHALL BE KEPT SPRAYED WITH WATER SO AS TO PREVENT ANY NUISANCE FROM DUST.
- WASTE MATERIALS SHALL NOT BE PLACED IN ANY STREET, ROAD OR RIGHT OF WAY.
- EARTHWORKS (UNRETAINED) SHALL NOT EXCEED 2M.
- CUT AND FILL BATTERS SHALL COMPLY WITH ABCBHP FIGURE 3.3.2.

## PROTECTION OF THE BUILDING FABRIC

- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.
- WINDOWS, DOORS AND SERVICE PENETRATIONS SHALL BE FLASHED ALL AROUND.
- ALL PLIABLE MEMBRANES SHALL BE INSTALLED TO COMPLY AND BE IN ACCORDANCE WITH ABCBHP 10.8.1
- GUTTERS AND DRAINAGE SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH AS3500.3.
- ANTI-PONDING DEVICES/BOARDS SHALL BE INSTALLED ACCORDING TO ABCBHP 7.3.5.
- DAMP COURSES WITH WEEPHOLES AND CAVITY FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH AS4773.2.
- SURFACES AROUND THE PERIMETER OF A RESIDENTIAL SLAB SHALL FALL AWAY FROM THAT SLAB BY NOT LESS THAN 50MM OVER THE FIRST 1M, WHERE NOT STIPULATED IN THE GEOTECHNICAL REPORT. FREEBOARD SHALL BE NOT LESS THAN 50MM FROM AN IMPERMEABLE SURFACE OR 150MM FROM A PERMEABLE SURFACE.
- SUBFLOOR VENTS SHALL BE LOCATED >600MM FROM CORNERS AND BE INSTALLED BELOW BEARERS. SUCH VENTS SHALL PROVIDE A RATE PER 1000MM RUN OF EXTERNAL OR INTERNAL CROSS WALLS OF:
  - 7,500MM<sup>2</sup> CLEAR VENTILATION WHERE PARTICLE BOARD FLOORING IS USED; OR
  - 6,000MM<sup>2</sup> FOR OTHER SUBFLOOR TYPES.
- WHERE A BUILDING OTHER THAN DETACHED CLASS 10 IS LOCATED IN A TERMITE-PRONE AREA, THE BUILDING SHALL BE PROVIDED WITH A TERMITE MANAGEMENT SYSTEM COMPLIANT WITH AS3660.1 OR AS3660.2.
- BUILDING TIE-DOWNS SHALL BE APPROPRIATE FOR THE SITE WIND CLASSIFICATION AND PROVIDED IN ACCORDANCE WITH ABCBHP 5.6.6.
- CORROSION PROTECTION SHALL BE SUITED TO THE SITE CONTEXT AND PROVIDED FOR BUILT-IN STRUCTURAL STEEL MEMBERS SUCH AS STEEL LINTELS, SHELF ANGLES, CONNECTORS, ACCESSORIES (OTHER THAN WALL TIES) IN ACCORDANCE WITH TABLE 4.1 OF AS4773.1 MASONRY IN SMALL BUILDINGS, PART 1: DESIGN.
- SHEET ROOFING SHALL BE PROTECTED FROM CORROSION IN A MANNER APPROPRIATE TO THE SITE CONTEXT, IN ACCORDANCE WITH ABCBHP TABLE 7.2.2A.
- SINGLE LEAF MASONRY WALLS SHALL BE WEATHERPROOFED PER ABCBHP 5.7.6.
- IN CLIMATE ZONES 6, 7 AND UNLESS EXCLUDED BY ABCBHP 10.8.3(2) ROOFS SHALL BE PROVIDED WITH VENTILATION OPENINGS PER ABCBHP 10.8.3.
- EXTERNAL WATERPROOFING FOR ON FLAT ROOFS, ROOF TERRACES, BALCONIES AND TERRACES AND OTHER SIMILAR HORIZONTAL SURFACES LOCATED ABOVE INTERNAL SPACES OF A BUILDING SHALL COMPLY WITH ABCBHP H2D8.
- WATERPROOFING OF WET AREAS - BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE - SHALL BE PROVIDED IN ACCORDANCE WITH ABCBHP 10.2.
- BALCONY WATERPROOFING SHALL BE INSTALLED IN ACCORDANCE WITH AS4654.1 & AS4654.2.+

## GLAZING

- GLAZED UNITS SHALL BE INSTALLED IN ACCORDANCE WITH ABCBHP 8.3.2.
- FULLY FRAMED GLAZING INSTALLED IN THE PERIMETER OF BUILDINGS SHALL COMPLY WITH ABCBHP 8.3.3.
- GLASS - INCLUDING, BUT NOT LIMITED TO, WINDOWS, DOORS, SCREENS, PANELS, SPLASHBACKS AND BARRIERS - SHALL COMPLY WITH ABCBHP 3.3.3.
- GLAZING SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH ABCBHP 8.4.

## FOOTINGS

- FOOTINGS SHALL NOT, UNDER ANY CIRCUMSTANCE, ENCR OACH OVER TITLE BOUNDARIES OR EASEMENT LINES.
- ALL CONCRETE FOOTINGS SHALL BE FOUNDED AT A DEPTH TO A MINIMUM REQUIRED BEARING CAPACITY AND/OR IN ACCORDANCE WITH RECOMMENDATIONS CONTAINED IN SOIL REPORT (OR OTHERWISE AT ENGINEER'S DISCRETION).

## STORMWATER AND SEWERS

- COVERS TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN:
  - 100MM UNDER SOIL
  - 50MM UNDER PAVED OR CONCRETE AREAS
  - 100MM UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
  - 75MM UNDER REINFORCED CONCRETE DRIVEWAYS
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS, FOOTING/ SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.

## SERVICES

- SOLAR COLLECTOR PANEL LOCATIONS ARE INDICATIVE ONLY. LOCATION AND SIZE ARE DEPENDENT ON MANUFACTURER'S/INSTALLER'S RECOMMENDATION.
- DUCTWORK FOR HEATING AND COOLING SYSTEMS SHALL COMPLY WITH AS4254 & AS/NZS 4859.1 IN ACCORDANCE WITH CLIMATE ZONE REQUIREMENTS SET DOWN IN ABCBHP TABLE 3.

## SAFETY OF BUILDING USERS

- WHERE STAIRS, RAMPS AND BALUSTRADES ARE TO BE CONSTRUCTED, THESE SHALL COMPLY WITH ALL PROVISIONS OF ABCBHP 11.2.
- OTHER THAN SPIRAL STAIRS:
  - RISERS SHALL BE 190MM MAX AND 115MM MIN
  - GOINGS SHALL BE 355MM MAX AND 240MM MIN
  - 2R+G SHALL BE 700MM MAX AND 500MM MIN
  - THERE SHALL BE LESS THAN 125MM GAP BETWEEN OPEN TREADS.
- ALL TREADS, LANDINGS AND THE LIKE SHALL HAVE A SLIP RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.
- BARRIERS SHALL BE PROVIDED WHERE IT IS POSSIBLE TO FALL 1M OR MORE FROM THE LEVEL OF THE TRAFFICABLE SURFACE TO THE SURFACE BENEATH. SUCH BARRIERS (OTHER THAN TENSIONED WIRE BARRIERS) SHALL BE:
  - 1000MM MIN ABOVE FINISHED STAIR LEVEL (FSL) OF BALCONIES, LANDINGS ETC.; AND
  - 865MM MIN ABOVE FSL OF STAIR NOSING OR RAMP; AND
  - VERTICAL, WITH GAPS OF NO MORE THAN 125MM.
- WHERE THE FLOOR BELOW A BEDROOM WINDOW IS 2M OR MORE ABOVE THE SURFACE BENEATH, THE WINDOW SHALL COMPLY WITH ABCBHP CLAUSE 11.3.7.
- WHERE THE FLOOR BELOW A WINDOW OTHER THAN IN A BEDROOM IS 4M OR MORE ABOVE THE SURFACE BENEATH, THE WINDOW SHALL COMPLY WITH ABCBHP CLAUSE 11.3.8.
- WHERE A BEDROOM WINDOW IS 2M OR MORE ABOVE THE SURFACE BENEATH, OR IT IS POSSIBLE TO FALL 4M OR MORE FROM THE LEVEL OF ANY TRAFFICABLE SURFACE TO THE SURFACE BENEATH, ANY HORIZONTAL ELEMENT WITHIN A BARRIER BETWEEN 150MM AND 760MM ABOVE THE FLOOR SHALL NOT FACILITATE CLIMBING.
- HANDRAILS SHALL BE CONTINUOUS, WITH TOPS SET >865MM VERTICALLY ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS.
- WIRE BARRIERS SHALL COMPLY WITH ABCBHP 11.3.4 AND 11.3.6.
- A GLASS BARRIER OR WINDOW SERVING AS A BARRIER SHALL COMPLY WITH ABCBHP H1D8.
- CLASS 1 BUILDINGS WITH AIR PERMEABILITY OF NOT MORE THAN 5 M<sup>3</sup>/HR.M<sup>2</sup> AT 50 PA SHALL BE PROVIDED WITH A MECHANICAL VENTILATION SYSTEM COMPLYING WITH H6V3, INWARD-OPENING SWING DOORS TO FULLY ENCLOSED SANITARY COMPARTMENTS SHALL COMPLY WITH ABCBHP CLAUSE 10.4.2.
- ALL SHOWER WALLS AND WALLS ADJACENT TO TOILET SHALL BE BRACED WITH 12MM PLY FOR FUTURE GRAB RAILS OR SUPPLY NOGGINGS WITH A THICKNESS OF AT LEAST 25MM IN ACCORDANCE WITH RECOMMENDATIONS OF LIVEABLE HOUSING DESIGN GUIDELINES.
- FLOORING IN WET AREAS, LAUNDRY AND KITCHEN SHALL BE SLIP RESISTANT.
- DOOR HARDWARE SHALL BE INSTALLED 900MM - 1100MM ABOVE THE FINISHED FLOOR.
- THERE SHALL BE A LEVEL TRANSITION BETWEEN ABUTTING INTERNAL SURFACES (A MAXIMUM VERTICAL TOLERANCE OF 5MM BETWEEN ABUTTING SURFACES IS ALLOWABLE PROVIDED THE LIP IS ROUNDED OR BEVELLED).

## TIMBER FRAMING

- STANDARD TIMBER ROOFING AND WALL FRAMING SHALL BE PROVIDED IN ACCORDANCE WITH AS1684 (RESIDENTIAL TIMBER-FRAMED CONSTRUCTION) AND ALL RELEVANT SUPPLEMENTS.

## ELECTRICAL

- SMOKE DETECTORS SHALL BE FITTED WHERE NONE ARE PRESENT, OR WHERE EXISTING ARE NON-COMPLIANT WITH AS3786.
- NEW SMOKE DETECTORS SHALL BE INTERCONNECTED; MAINS-POWERED; AND LOCATED AND INSTALLED PER ABCBHP 9.5.2 AND 9.5.4.
- LIGHT SWITCHES SHALL BE POSITIONED IN A CONSISTENT LOCATION 900MM - 1100MM ABOVE THE FINISHED FLOOR LEVEL; HORIZONTALLY ALIGNED WITH THE DOOR HANDLE AT THE ENTRANCE TO A ROOM.
- POWER POINTS SHALL NOT BE INSTALLED LOWER THAN 300MM ABOVE FINISHED FLOOR LEVEL.
- ALL ELECTRICAL PENETRATIONS SHALL BE SEALED USING MATERIAL APPROPRIATE TO THE RATING OF THE CABLE AND/OR DEVICE.
- ONLY STAMPED IC4-RATED DOWNLIGHTS SHALL BE INSTALLED AND INSULATION SHALL NOT BE PENETRATED FOR DOWNLIGHTS.
- DUCTWORK FOR EXHAUST FANS AND HEATING AND COOLING SYSTEMS SHALL COMPLY WITH AS4254 & AS/NZS 4859.1 IN ACCORDANCE WITH CLIMATE ZONE REQUIREMENTS SET DOWN IN ABCBHP 13.7.4.
- EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT OR LAUNDRY SHALL BE DISCHARGED DIRECTLY VIA AN INSULATED SHAFT OR R1 INSULATED DUCTING TO OUTDOOR AIR. MINIMUM FLOW RATES SHALL BE:
  - 40 L/S FOR KITCHEN & LAUNDRY
  - 25 L/S FOR BATHROOM OR SANITARY COMPARTMENT.
- AN EXHAUST SYSTEM THAT IS NOT RUN CONTINUOUSLY AND IS SERVING A BATHROOM OR SANITARY COMPARTMENT THAT IS NOT VENTILATED IN ACCORDANCE WITH ABCBHP 10.6.2(A) SHALL BE INTERLOCKED WITH THE ROOM'S LIGHT SWITCH; AND INCLUDE A 10 MINUTE RUN-ON TIMER.
- EXHAUST FANS, RANGEHOODS AND THE LIKE SHALL BE INSTALLED WITH SELF-CLOSING DAMPERS.

## BUILDING THERMAL PERFORMANCE

- WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY XXX, ACCREDITED THERMAL PERFORMANCE ASSESSOR DMNXXX, WITHOUT ALTERATION.
- INSULATION SHALL BE INSTALLED TIGHT AND CONTINUOUS, WITHOUT GAPS AND CRACKS, HARD UP AGAINST INTERNAL LININGS (INCLUDING SUBFLOOR). THERE SHALL BE NO AIR GAP BETWEEN AN INTERNAL LINING AND INSULATION. JUNCTIONS BETWEEN INTERNAL AND EXTERNAL WALLS SHALL BE INSULATED.
- INSULATION SHALL NOT BE CRUSHED OR COMPRESSED.
- BOX GUTTERS AND MANHOLE COVERS SHALL BE INSULATED TO THE SAME R-VALUE AS THE ROOF, USING INSULATION BATTS OR BLANKET OR CLOSED-CELL FOAM.
- DOWNLIGHTS SHALL BE STAMPED AS IC4 RATED, AIRTIGHT AND COVERED BY INSULATION.
- IN CLIMATE ZONES 6, 7 AND 8, A VAPOUR PERMEABLE LAYER SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS IN ALL NEW EXTERNAL WALLS. THE MATERIAL SHALL BE OVERLAPPED AND FULLY TAPED ON THE EXTERNAL SIDE TO ENSURE A TIGHT SEAL. ALL PENETRATIONS IN THE MEMBRANE SHALL BE SEALED, ENSURING THAT THE MATERIAL COVERS GAPS BETWEEN STUDS AND DOORS AND WINDOW FRAMES. ANY FLASHING AROUND WINDOWS SHALL BE TAPED OVER THE BUILDING WRAP.
- WHERE A FOIL-BACKED MEMBRANE IS USED, TIMBER BATTENS SHALL BE USED TO MINIMISE THERMAL CONDUCTION.
- ALL TRADES SHALL BE INSTRUCTED TO REPLACE ANY INSULATION THEY HAVE REMOVED IN THE COURSE OF THEIR WORK AND TO TAPE ANY CUTS/PENETRATIONS IN BUILDING WRAP. ALL PENETRATIONS SHALL BE CAULKED USING A FIT-FOR-PURPOSE FLEXIBLE SEALANT.
- ALL REDUNDANT OPENINGS SUCH AS DECOMMISSIONED CHIMNEYS AND WALL VENTS SHALL BE SEALED OFF AT TOP AND BOTTOM, UNLESS AN UNFLUED GAS HEATER IS PRESENT.
- CAULKING PRODUCTS SHALL BE APPROPRIATE FOR THE INTENDED APPLICATION.
- BEFORE INSTALLING MOULDINGS, A FIT-FOR-PURPOSE, LONG-LASTING PROPRIETARY TAPE OR FLEXIBLE CAULKING PRODUCT SHALL BE USED TO SEAL JUNCTIONS OF:
  - PLASTERBOARD AND FLOOR
  - PLASTERBOARD AND TOP PLATE (FOR SQUARE SET CORNICES)
  - VERTICAL AND HORIZONTAL PLASTERBOARD
  - TOPS, BOTTOMS AND SIDES OF ARCHITRAVES AND PLASTERBOARD.
  - ALL EXHAUST FANS AND DUCTS, INCLUDING RANGEHOODS, SHALL BE FITTED WITH SELF-CLOSING MECHANISMS.
- EXTERNAL DOORS AND WINDOWS SHALL BE DRAUGHTPROOFED PER BCA 13.4.4 USING A DURABLE, FIT-FOR-PURPOSE SEAL.
- CAVITY SLIDER POCKETS SHALL BE SEALED BEFORE INSTALLATION, EITHER BY WRAPPING WITH VAPOUR PERMEABLE MEMBRANE, OR BY SCREWING PASTER SECURELY TO THE FRAME AND APPLYING A SILICON BEAD.
- CONDITIONED CLASS 1 AND UNCONDITIONED CLASS 10A SPACES SHALL BE SEPARATED BY INSULATION. ANY OPENINGS BETWEEN SUCH SPACES SHALL BE WEATHER-STRIPPED.
- WINDOW SIZES NOMINATED ARE NOMINAL. ACTUAL SIZE MAY VARY MINIMALLY ACCORDING TO MANUFACTURER; HOWEVER, OPENING STYLES, OVERALL SIZE, U-VALUE AND SHGC VALUES ARE INBUILT INTO THE ENERGY RATING AND MAY NOT BE ALTERED WITHOUT THE EXPRESS APPROVAL OF THE PROJECT'S ENERGY RATER.

## BUSHFIRE ATTACK LEVEL:- (BAL)

**BAL - LOW**  
**THE BUSHFIRE ATTACK LEVEL BAL - LOW ASSESSMENT IS BASED ON INSUFFICIENT RISK TO WARRANT SPECIFIC BUSHFIRE CONSTRUCTION REQUIREMENTS. THIS STANDARD DOES NOT PROVIDE CONSTRUCTION REQUIREMENTS FOR BUILDINGS ASSESSED IN BUSHFIRE-PRONE AREAS IN ACCORDANCE WITH AS3959 SECTION 2 AS BEING BAL - LOW.**

**ALL HOMES TO COMPLY WITH AS 3959-2018 (BAL)**

## WIND SPEED ASSESSMENT:

**MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS:**

**TBC**

## IMPORTANT NOTE:

THE WIND SPEED CALCULATION IS TAKEN FROM THE JOB SPECIFIC SOIL REPORT (FRONT PAGE)

STANDARD HOMES ARE DESIGNED TO SUIT A MINIMUM WIND GUST SPEED OF 33 m/s

## SITE CLASSIFICATION

SITE CLASSIFICATION AS CLASS:	<b>TBC</b>
REFER TO SOIL REPORT NO:	<b>TBC</b>
BY:	<b>TBC</b>

## AUTHORITIES/CONSULTANTS

MUNICIPALITY NAME:	<b>KINGBOROUGH COUNCIL</b>
SEWAGE AUTHORITY:	<b>TASWATER</b>
CONSULTING STRUCTURAL ENGINEER:	<b>TBC</b>
GEOTECHNICAL ENGINEER:	<b>TBC</b>
THERMAL PERFORMANCE ASSESSOR:	<b>TBC</b>

2/17 Bayfield Street, Rosny Park, 7018 | P. 03 6234 6185 | hobart@hargreaves.design | www.hargreaves.design | DP-AD 13882 & 695791616

proposed: **DWELLING & SHED (BY OTHERS)**

for: **D. & S. BOSKER**  
drawing: **GENERAL NOTES**

address: **5 OLD FARMHOUSE COURT, KINGSTON, TAS 7050**

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drawn: **AW** date: **15/07/2024** scale:

sheet: **1** of **9** issue: **E** date: **07/11/2024**

job no.: **24-05634**

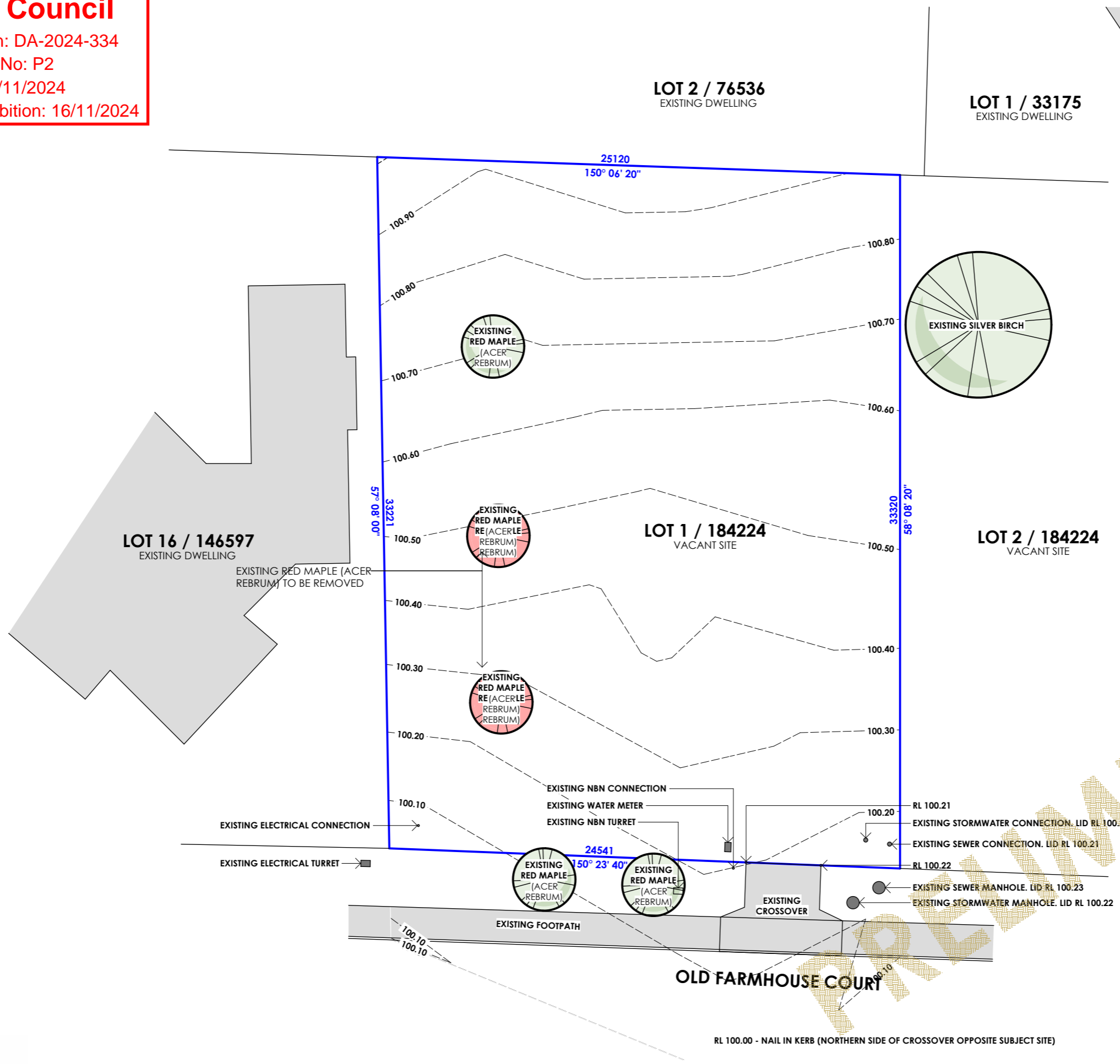
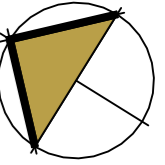
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RL 100.00 - NAIL IN KERB (NORTHERN SIDE OF CROSSOVER OPPOSITE SUBJECT SITE)



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proposed: **DWELLING & SHED (BY OTHERS)**

for: **D. & S. BOSKER**  
drawing: **EXISTING SITE PLAN**

address: **5 OLD FARMHOUSE COURT, KINGSTON, TAS 7050**

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drawn: **AW** date: **15/07/2024** scale: **1 : 200**

sheet: **2** of **9** issue: **E** date: **07/11/2024** job no.: **24-05634**

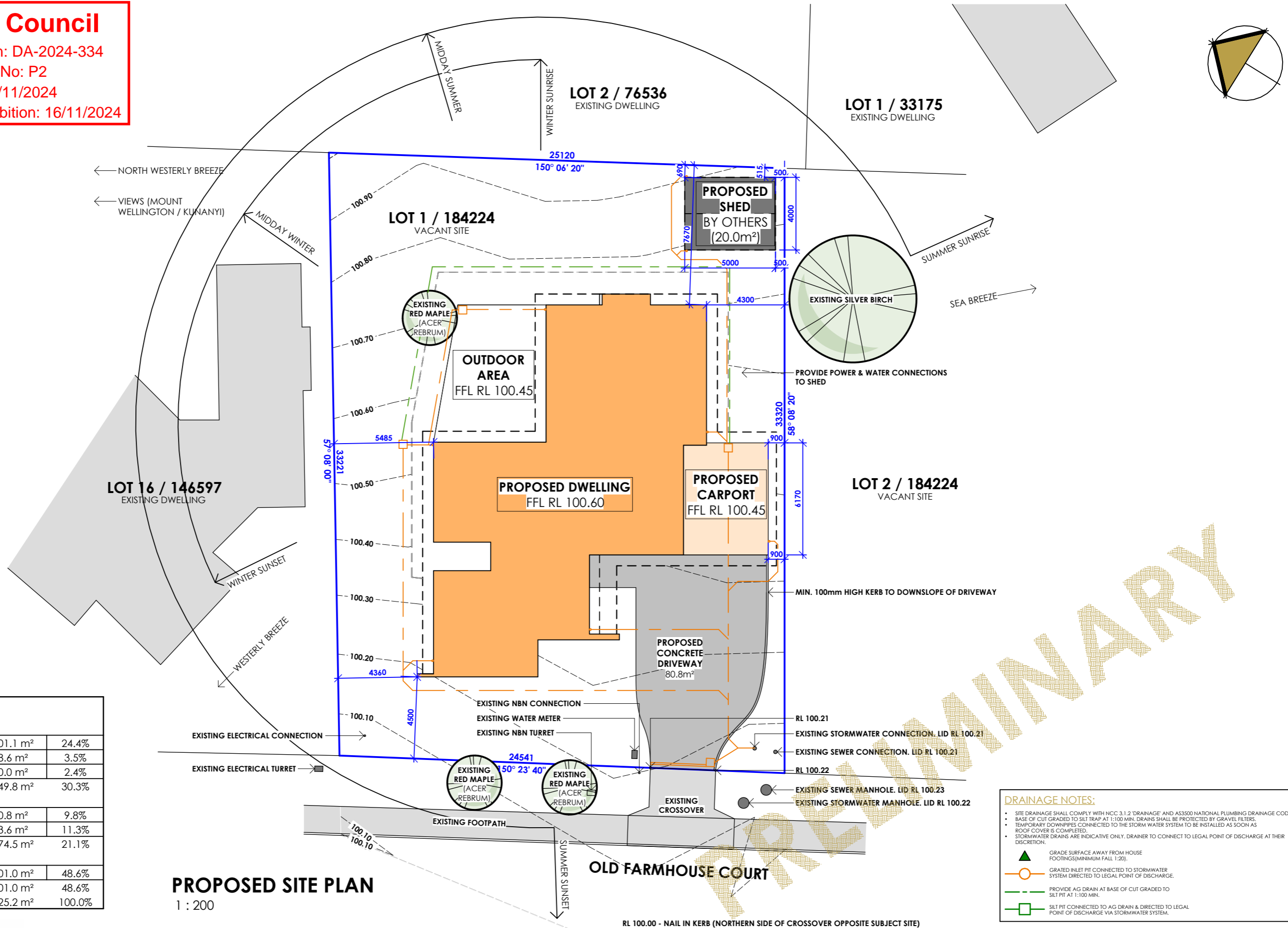
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## PROPOSED SITE PLAN

1 : 200

SITE ANALYSIS		
DWELLING	201.1 m <sup>2</sup>	24.4%
CARPORT	28.6 m <sup>2</sup>	3.5%
SHED	20.0 m <sup>2</sup>	2.4%
BUILDING AREA	249.8 m <sup>2</sup>	30.3%
DRIVEWAY	80.8 m <sup>2</sup>	9.8%
OUTDOOR AREA & PATH	93.6 m <sup>2</sup>	11.3%
DRIVEWAY & PATHS	174.5 m <sup>2</sup>	21.1%
IMPERVIOUS AREA	401.0 m <sup>2</sup>	48.6%
IMPERVIOUS AREA	401.0 m <sup>2</sup>	48.6%
SITE AREA	825.2 m <sup>2</sup>	100.0%

DRAINAGE NOTES:	
•	SITE DRAINAGE SHALL COMPLY WITH NCC 3.1.2 'DRAINAGE' AND AS3500 NATIONAL PLUMBING DRAINAGE CODE.
•	BASE OF CUT GRADED TO SILT TRAP AT 1:100 MIN. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.
•	TEMPORARY DOWNPIPES CONNECTED TO THE STORM WATER SYSTEM TO BE INSTALLED AS SOON AS ROOF COVER IS COMPLETED.
•	STORMWATER DRAINS ARE INDICATIVE ONLY. DRAINER TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION.
▲	GRADE SURFACE AWAY FROM HOUSE FOOTINGS (MINIMUM FALL 1:20).
○	GRADED INLET PIT CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE.
—	PROVIDE AG DRAIN AT BASE OF CUT GRADED TO SILT PIT AT 1:100 MIN.
□	SILT PIT CONNECTED TO AG DRAIN & DIRECTED TO LEGAL POINT OF DISCHARGE VIA STORMWATER SYSTEM.

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for: **D. & S. BOSKER**  
drawing: **PROPOSED SITE PLAN**

address: **5 OLD FARMHOUSE COURT, KINGSTON, TAS 7050**

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drawn: **AW** date: **15/07/2024** scale: **1 : 200**

sheet: **3** of **9** issue: **E** date: **07/11/2024** job no.: **24-05634**





**CUT & FILL NOTES:**

**GENERAL NOTES / ANNOTATIONS**

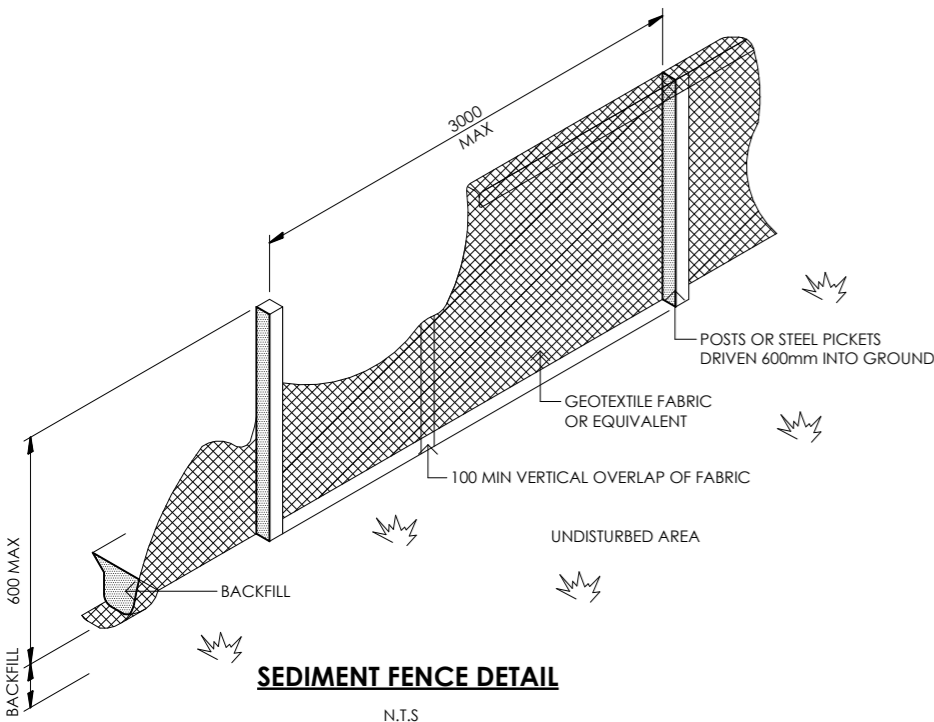
- EXCAVATED MATERIAL FROM FOUNDATIONS SHALL REMAIN STOCKPILED ON SITE FOR ANY REQUIRED SITE REHABILITATION / FILL AND LANDSCAPING AT COMPLETION. ANY EXCESS TO BE TAKEN TO LOCAL REFUSE SITE. EXCAVATED MATERIAL STOCKPILED ON SITE TO BE PROTECTED AND DIVERSION DRAINAGE PROVIDED.
- IDENTIFY AREAS OF BARE SOIL ESPECIALLY ON SLOPES GREATER THAN 3:1 THAT MAY NEED EROSION CONTROL MATS OR EROSION CONTROL BLANKETS.
- PROVIDE 600H GEOFABRIC OR EQUIVALENT WATER PERMEABLE SEDIMENT FENCE. (SEE DETAIL THIS DRAWING) SEDIMENT FENCE TO REMAIN IN PLACE FOR DURATION OF WORKS.
- STABILISED SITE ACCESS VIA GRAVEL EXISTING DRIVEWAY
- 600H GEOFABRIC SEDIMENT FENCE
- IT IS THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL, MAINTAIN AND (UPON COMPLETION) REMOVE ALL SEDIMENT CONTROL MEASURES.
- SEDIMENT FENCE TO BE CHECKED AND CLEANED DAILY TO PREVENT BREAKAGE AND OVERTOPPING.
- THE SITE/AREAS BEING EXCAVATED SHALL BE ADEQUATELY BARRICADED TO PROTECT THE CONTRACTORS OR PUBLIC FROM INJURY.

**SITE CUT/FILL LEGEND & NOTES**

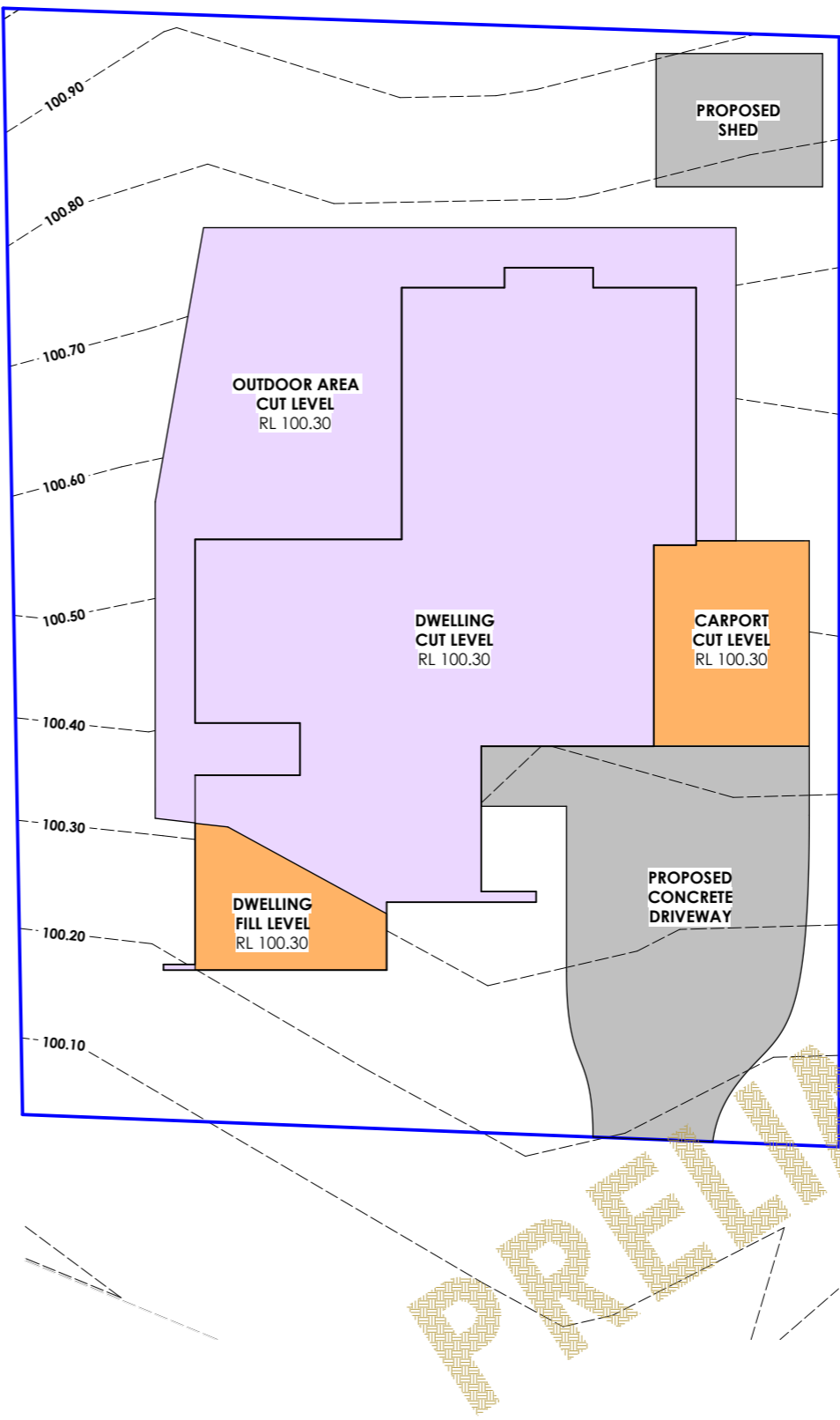
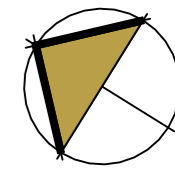
-  DENOTES AREA OF SITE CUT
-  DENOTES AREA OF SITE FILL

**SITE CUT & FILL NOTE**

PROVIDE SITE CUT OF 0mm & FILL 0mm OVER BUILDING AREA & PROVIDE AN ADDITION SCRAPE TO GARAGE TO ACCOMODATE A 86 mm STEPDOWN NOTE: 45° BATTER ANGLE



**Kingborough Council**  
 Development Application: DA-2024-334  
 Plan Reference No: P2  
 Date Received: 7/11/2024  
 Date placed on Public Exhibition: 16/11/2024



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proposed: **DWELLING & SHED (BY OTHERS)** for: **D. & S. BOSKER** address: **5 OLD FARMHOUSE COURT, KINGSTON, TAS 7050**  
 drawing: **CUT & FILL PLAN** drawn: **AW** date: **15/07/2024** scale: **As indicated** sheet: **4 of 9** issue: **E** date: **07/11/2024** job no.: **24-05634**  
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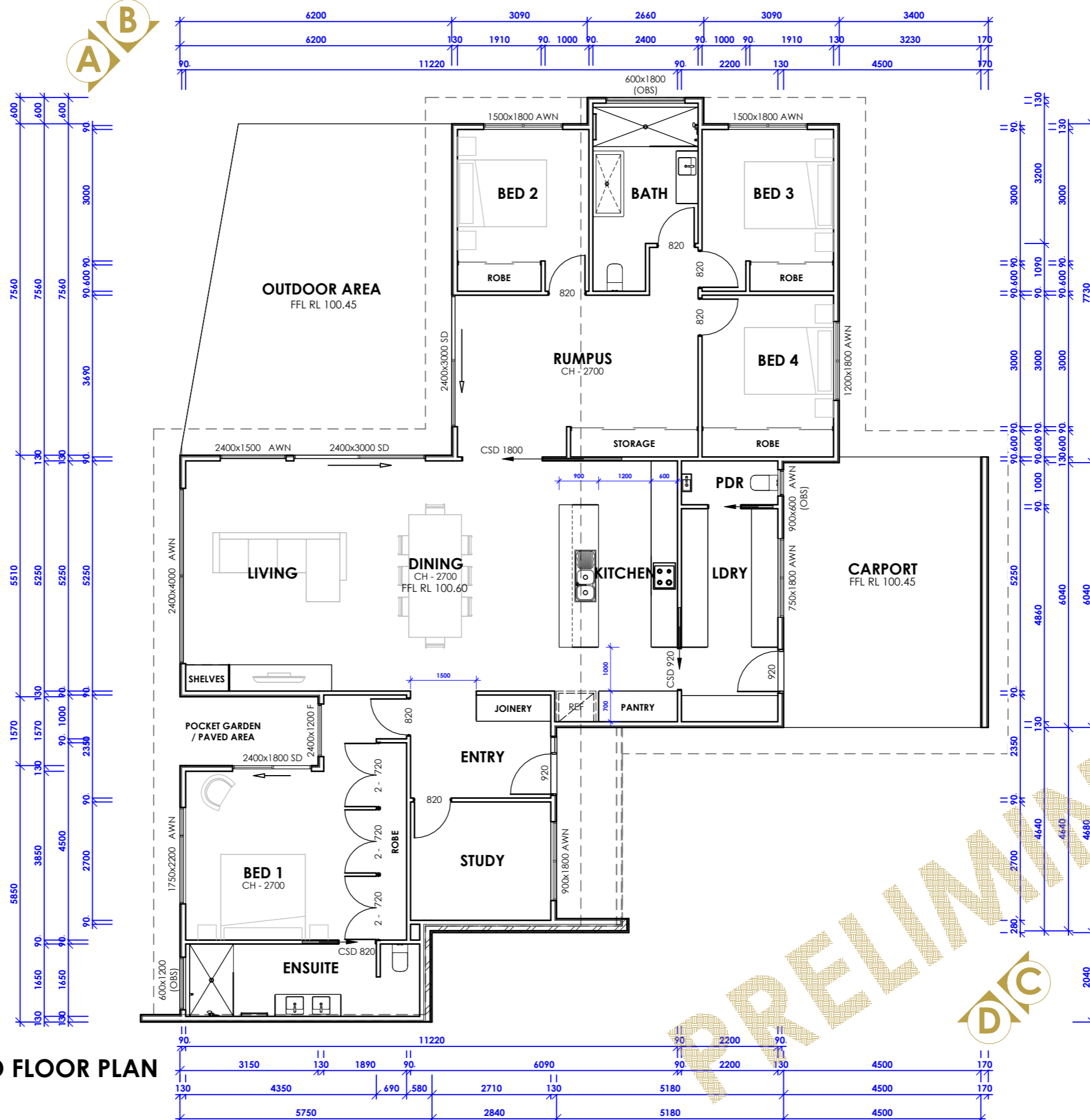
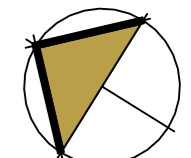
# Kingborough Council

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- GENERAL NOTES:**
- WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE
  - BUILDER MAY ADJUST GARAGE DOOR HEIGHT ON SITE AS REQUIRED
  - UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
    - \* EXTERNAL 240mm = 110 BRICK, 40 CAVITY, 90 STUD
    - \* INTERNAL 90mm STUD
  - ALL INTERNAL DOORS TO BE 2040H (2340H NOTED WITH ASTERISK - 820\*)
  - PROVIDE REMOVABLE HINGES TO HINGED WC & POWDER ROOM DOORS WHERE INDICATED (LH)
  - PROVIDE WEATHER STRIPS TO FRONT ENTRY DOOR (WH)
  - 600x600 CEILING ACCESS MANHOLE LOCATION
  - SMOKE DETECTOR (INTERCONNECTED WITH BATTERY BACKUP)
  - ENGINEER DESIGNED BEAM - (EDB)
  - DOUBLE GLAZING - (DG)
  - BRICKWORK ARTICULATION JOINT
  - EXTERNAL PLUMBING POINTS TO PLUMBER'S DISCRETION
  - SAFETY GLASS WHERE WINDOW IS WITHIN 2m OF SHR/BATH BASE
  - BIB TAP
  - RECYCLED TAP
  - GAS METER - 1m CLEARANCE TO OPENINGS & IGNITION SOURCES
  - HWS WATER SERVICE TO BE 500mm CLEAR OF BLDG OPENINGS

FLOOR AREAS	
DWELLING	201.14 m <sup>2</sup>
OUTDOOR AREA	41.83 m <sup>2</sup>
CARPOR	28.65 m <sup>2</sup>
TOTAL	271.62 m <sup>2</sup>

## PROPOSED FLOOR PLAN

1 : 100



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proposed: **DWELLING & SHED (BY OTHERS)**

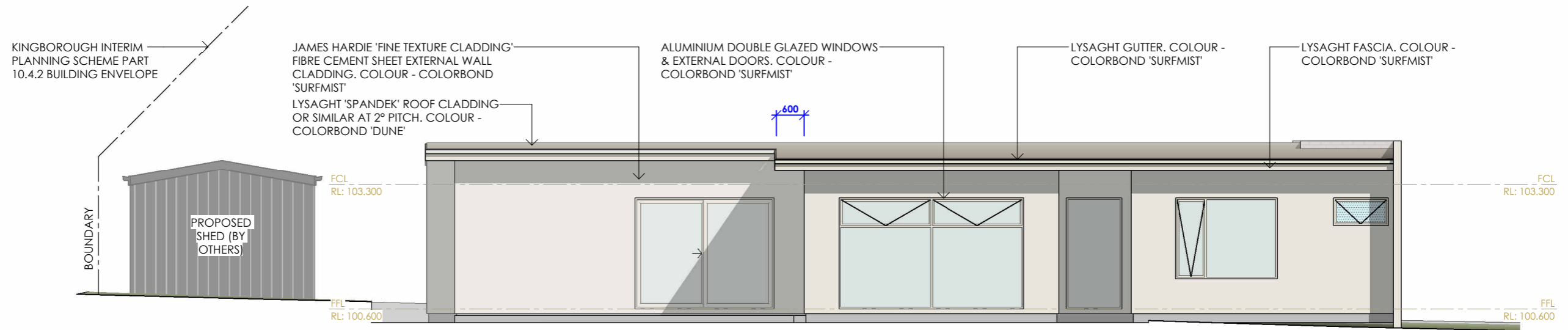
for: **D. & S. BOSKER**  
drawing: **PROPOSED FLOOR PLAN**

address: **5 OLD FARMHOUSE COURT, KINGSTON, TAS 7050**

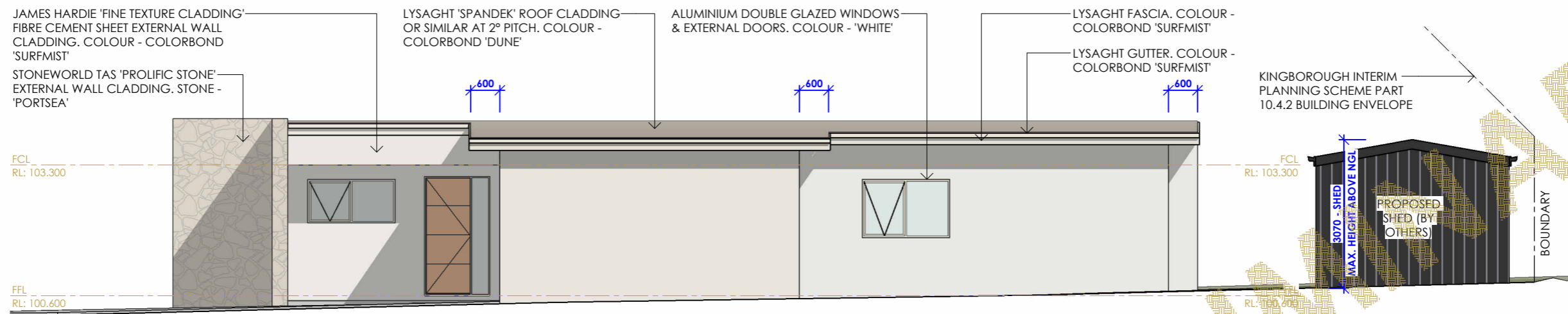
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### ELEVATION A - NORTH

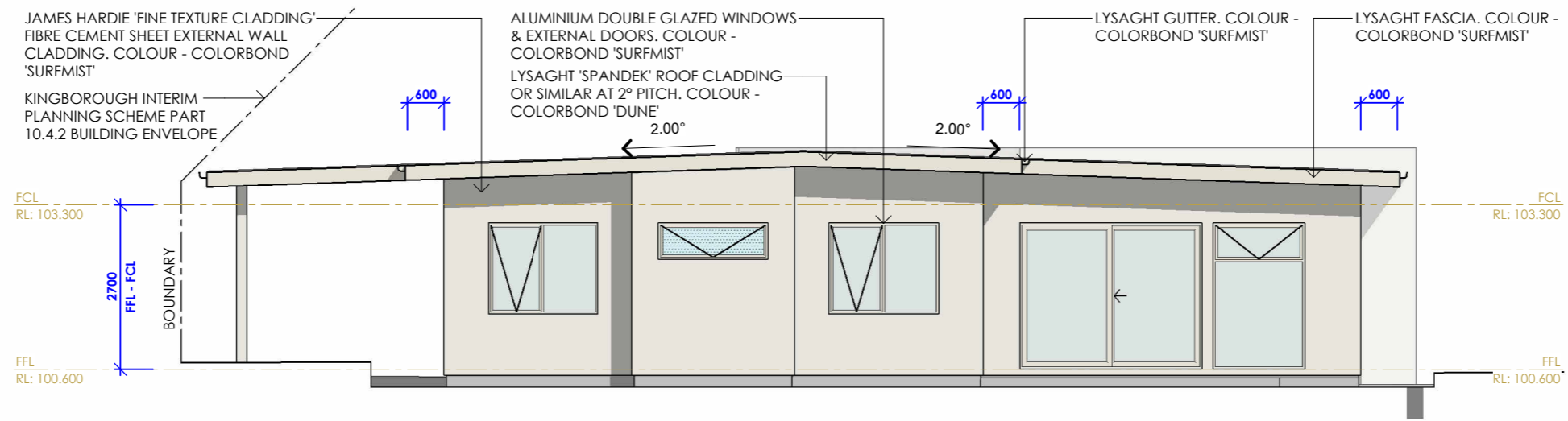


### ELEVATION C - SOUTH

PRELIMINARY

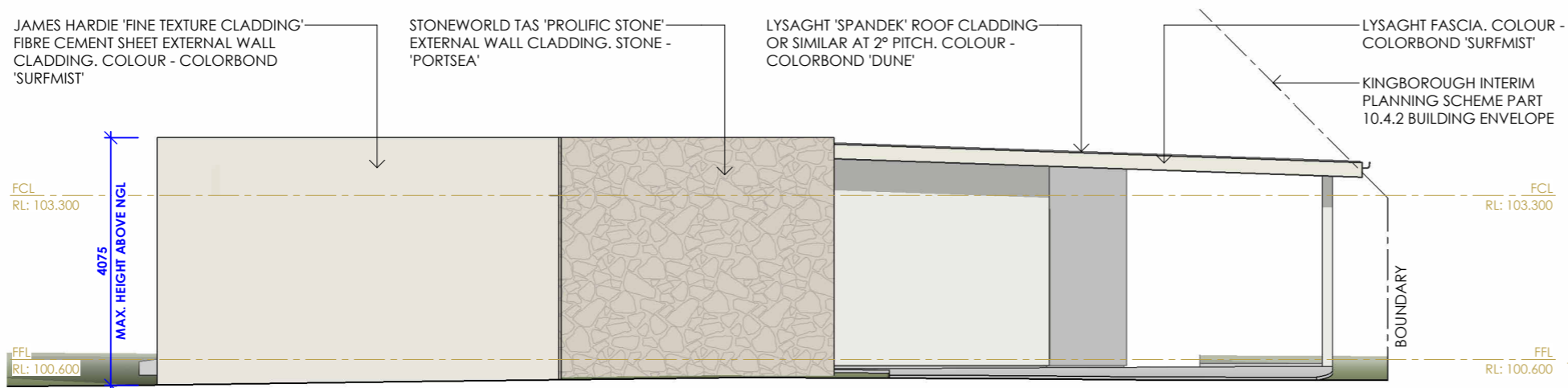






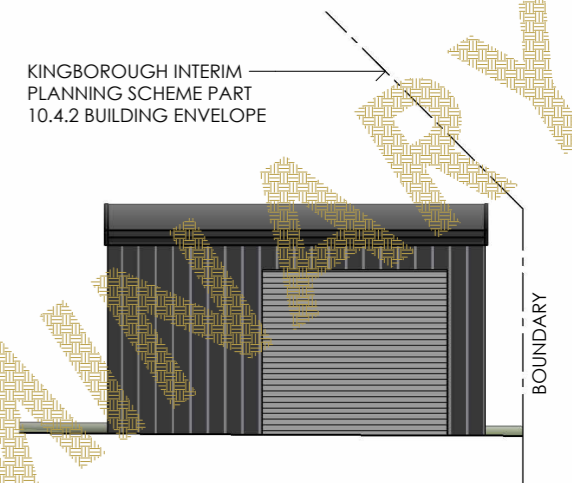
### ELEVATION B - EAST

1 : 100



### ELEVATION D - WEST

1 : 100



### SHED WEST ELEVATION

1 : 100

PRELIMINARY

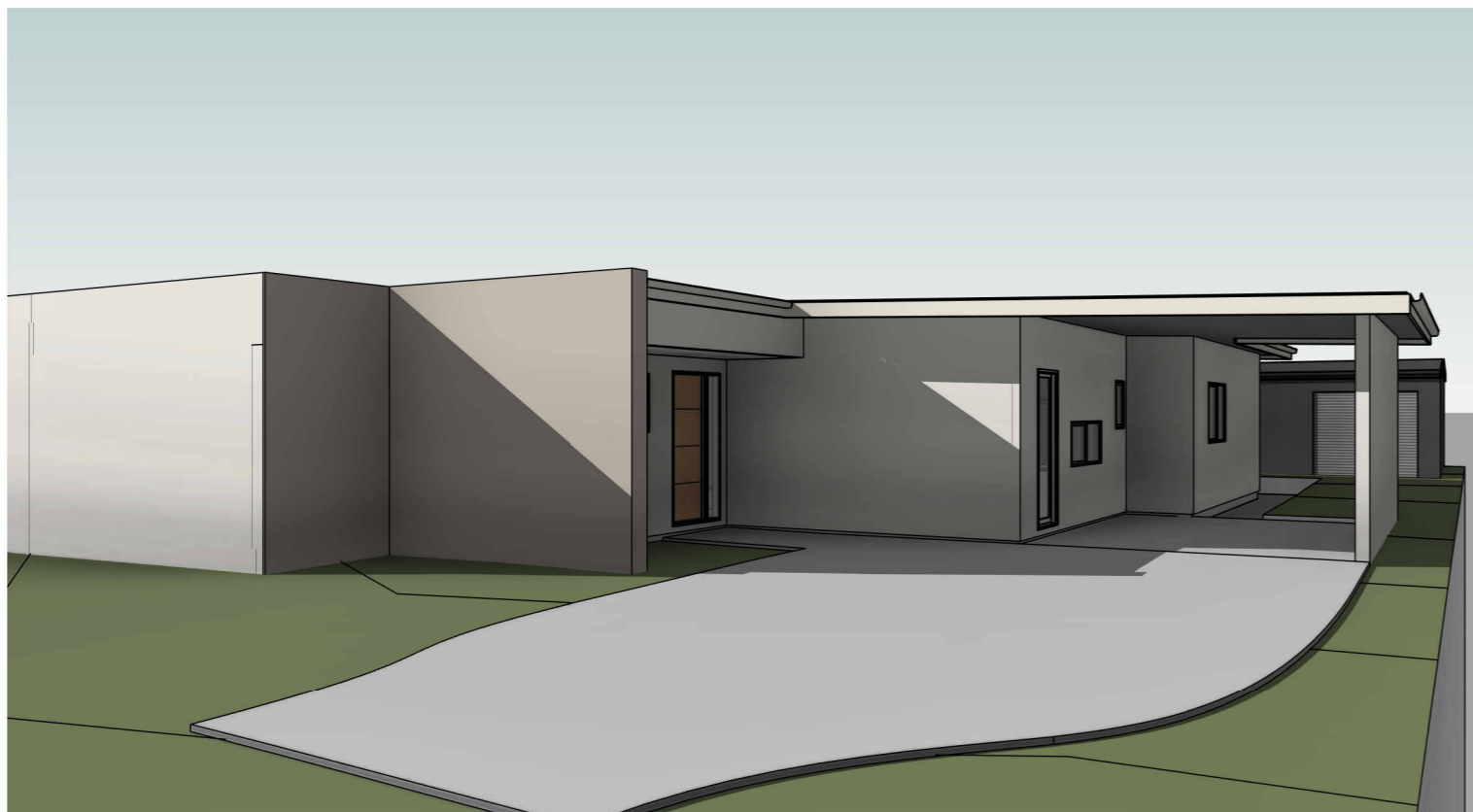
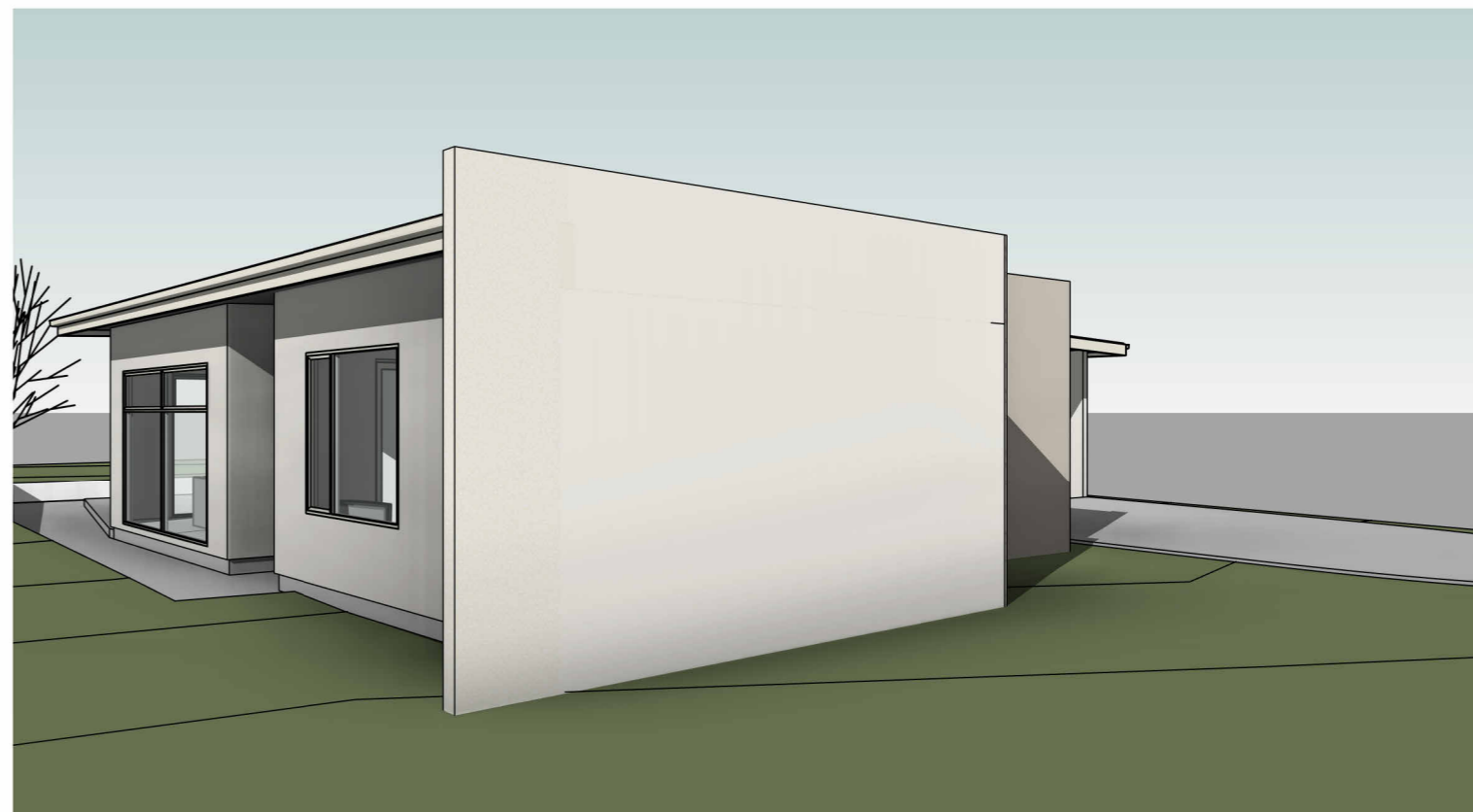
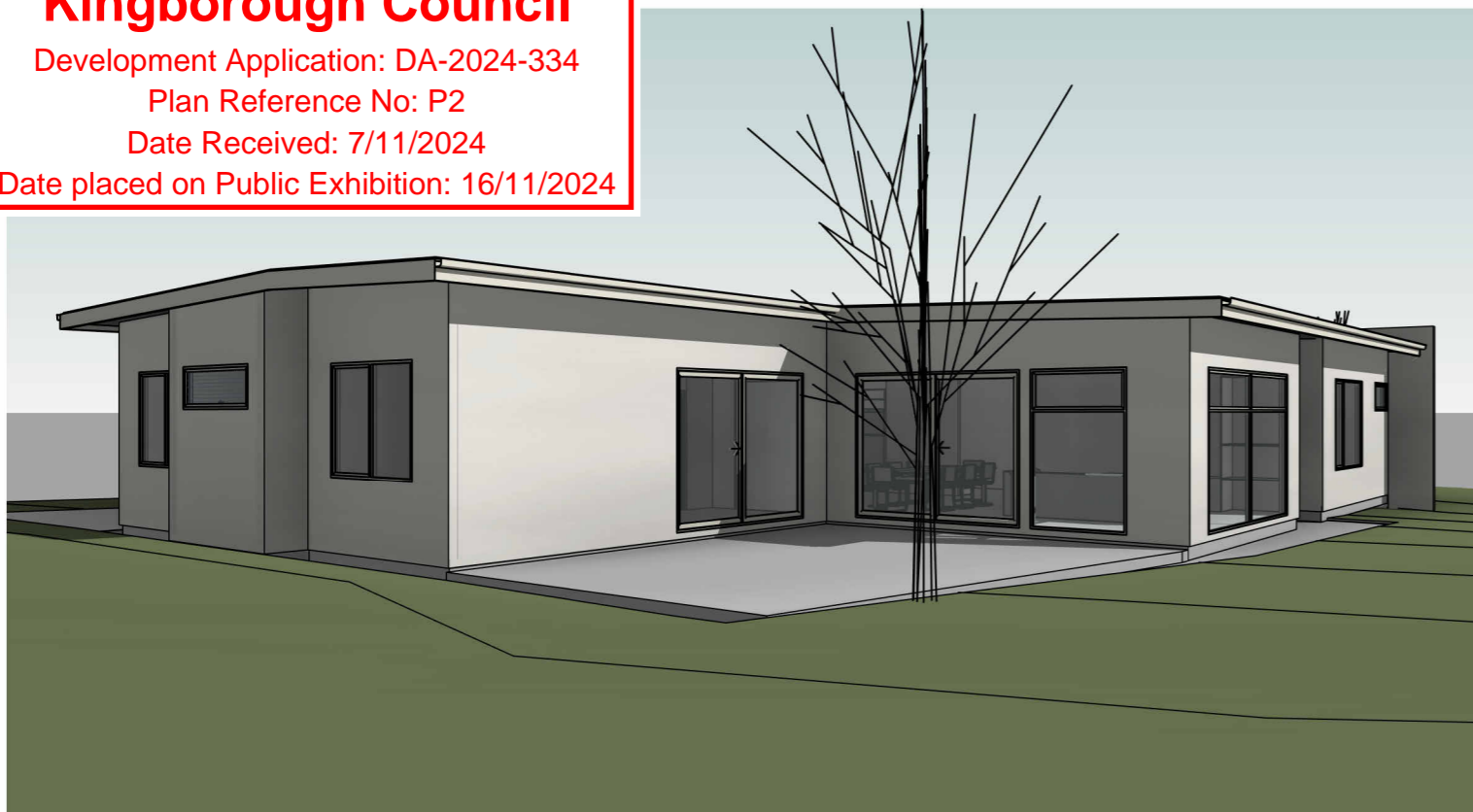
# Kingborough Council

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**HARGREAVES**  
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proposed: **DWELLING & SHED (BY OTHERS)**

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for: **D. & S. BOSKER**  
drawing: **PERSPECTIVE VIEWS**

drawn: **AW** date: **15/07/2024** scale:

address: **5 OLD FARMHOUSE COURT, KINGSTON, TAS 7050**

sheet: **8** of **9** issue: **E** date: **07/11/2024** job no.: **24-05634**

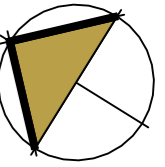
# Kingborough Council

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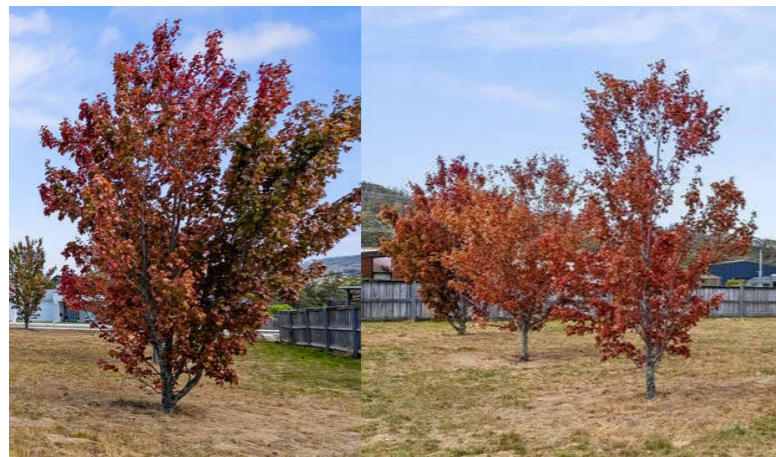
Date placed on Public Exhibition: 16/11/2024



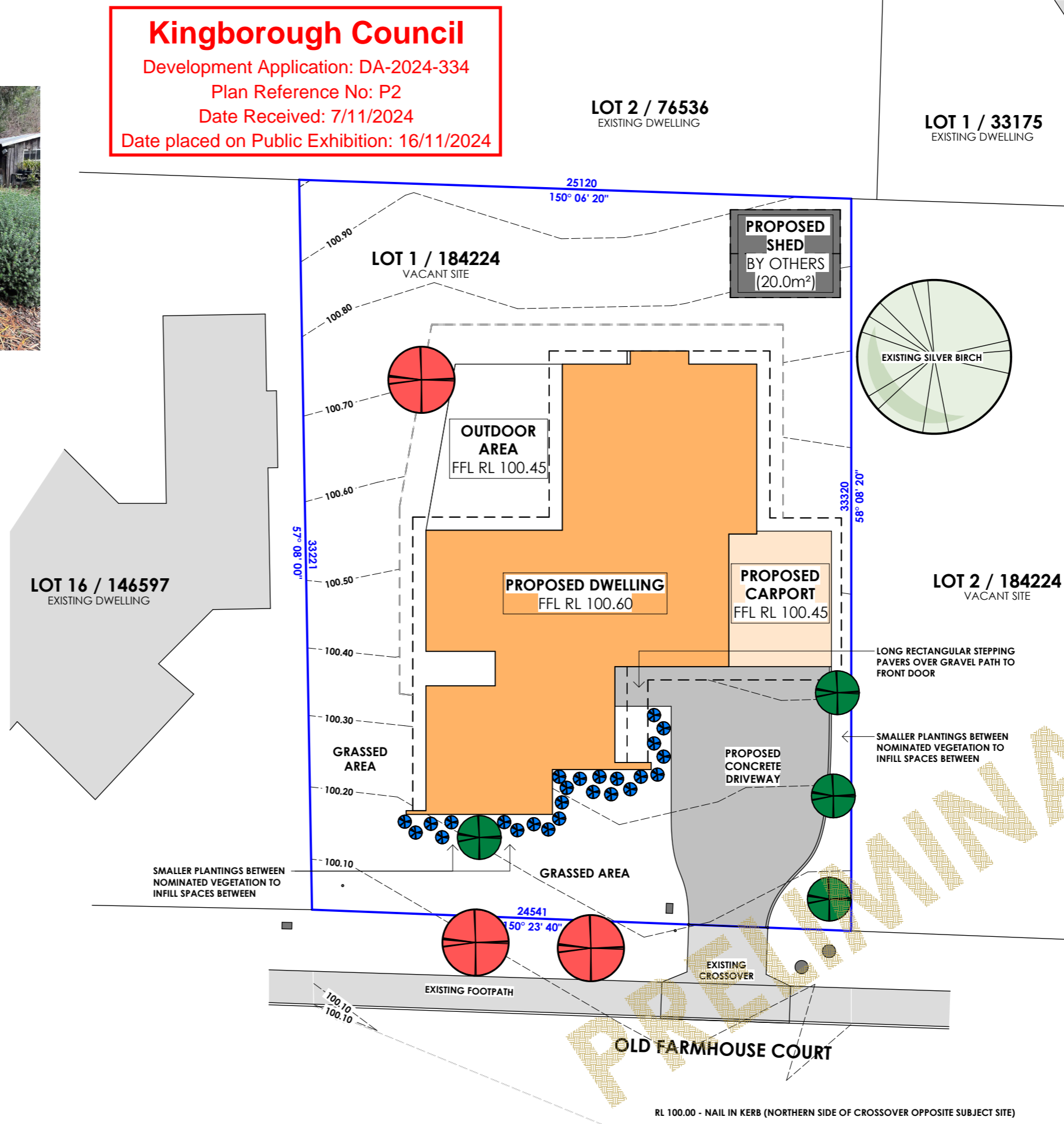
 - DENOTES COASTAL ROSEMARY 'WESTRINGIA FRUTICOSA'  
APPROX. 1-2m HIGH x 2m WIDE



 - DENOTES SILVER BIRCH 'BETULA PENDULA'  
APPROX. 8m HIGH x 4m WIDE



 - DENOTES EXISTING RED MAPLE 'ACER REBRUM'



RL 100.00 - NAIL IN KERB (NORTHERN SIDE OF CROSSOVER OPPOSITE SUBJECT SITE)

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proposed: **DWELLING & SHED (BY OTHERS)**

for: **D. & S. BOSKER**  
drawing: **LANDSCAPING PLAN**

address: **5 OLD FARMHOUSE COURT, KINGSTON, TAS 7050**

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drawn: **AW** date: **15/07/2024** scale: **1 : 200**

sheet: **9** of **9** issue: **E** date: **07/11/2024**

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