

# APPLICATION FOR PLANNING APPROVAL

**Application Number:** DA-2024-312  
**Proposal:** Extension to dwelling and two (2) outbuildings (retrospective)  
**Subject Site:** 51 Draper Road, Howden  
**Responsible Planning Officer:** Tayla Beagley

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## Advertised Documents:

- Application Plans
- Bushfire Assessment Report
- Wastewater Assessment Report

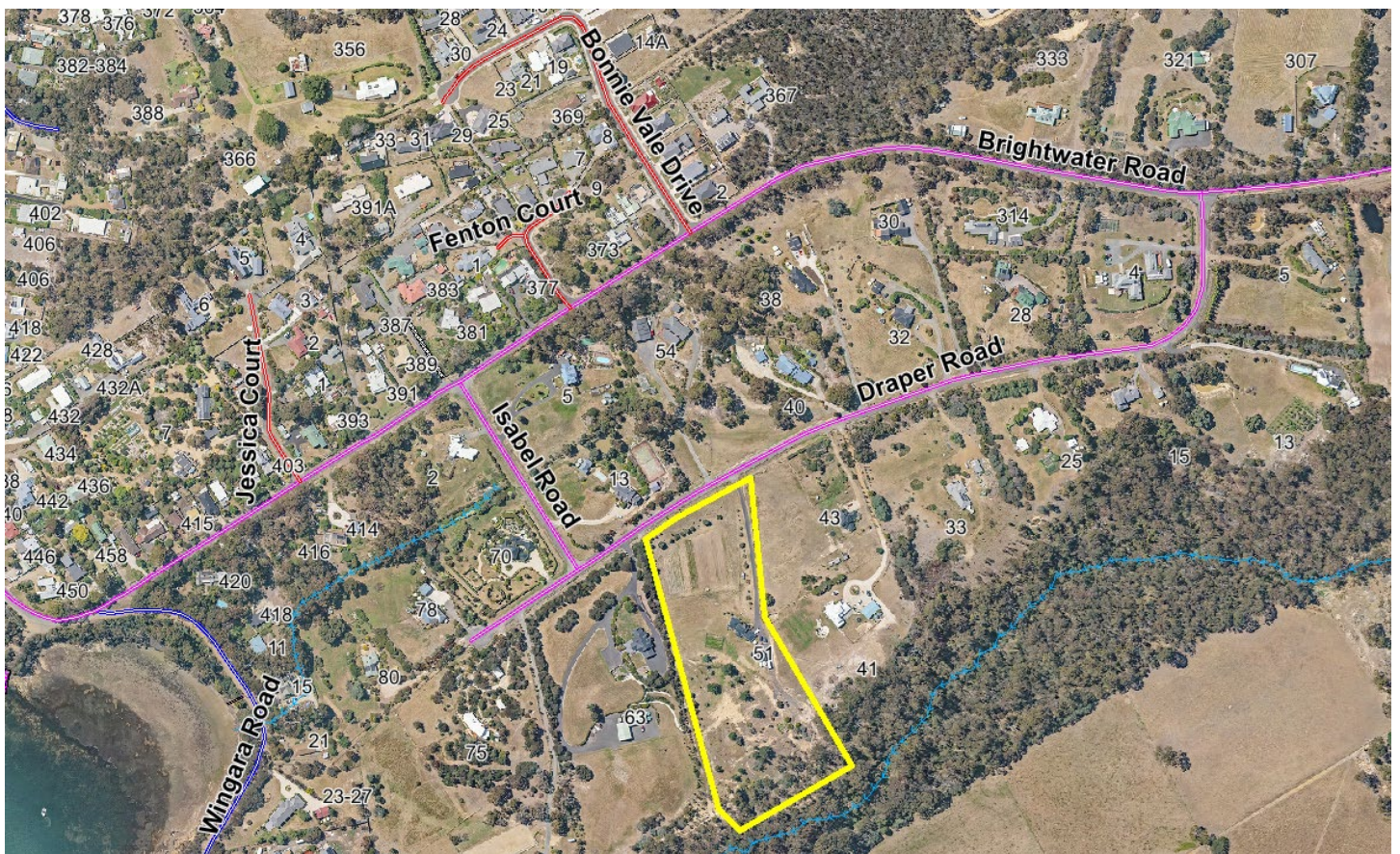
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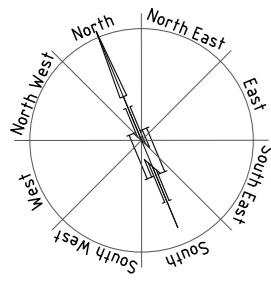
- Application Form
- Copy of Title
- Site and Soil Evaluation Report

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

## Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **3 December 2024**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to [kc@kingborough.tas.gov.au](mailto:kc@kingborough.tas.gov.au).





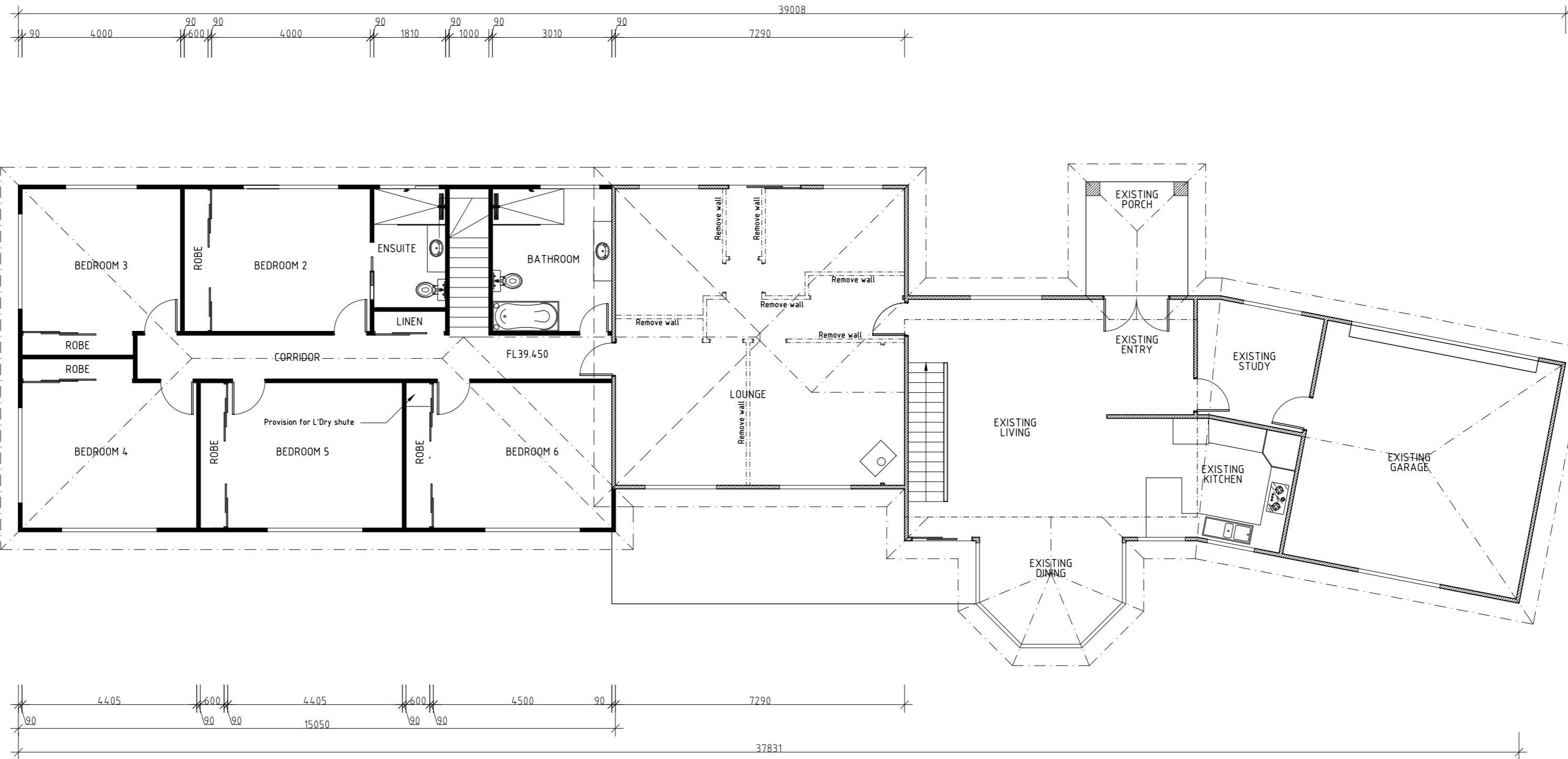
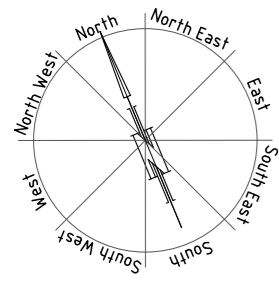
- CONTENTS:**
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  - 12 Existing Elevations 2
  - 13 BAL plan
  - 14 Excavation Plan & Elevations

**PLANNING SCHEME OVERLAYS:**  
 Biodiversity protection area  
 Bushfire prone area  
 Waterway & coastal protection area  
 Landslide hazard area  
 Rural living Zone (area A)  
 BAL-12.5 see report by G Williams  
 Soil report by Doyle Soil  
 Wastewater report by Doyle Soil

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PROPOSED ADDITION AND ALTERATIONS FOR MR S WOODFORD AT 51 DRAPER ROAD HOWDEN	SITE PLAN	DATE 18/11/24	DRAWN BY G. Tilley email: gtilley7@bigpond.com phone: ph 0400 671 982
	SCALE 1:1000 A2 0 10000 20000	AMENDED	DRAWING NO. 01 OF 14
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EXISTING  
PROPOSED

Areas	
Ex. Lower Level:	166.09m <sup>2</sup>
Ex. Upper Level:	36.75m <sup>2</sup>
Ex. Total:	202.84m <sup>2</sup>
Ex. Deck:	24.26m <sup>2</sup>

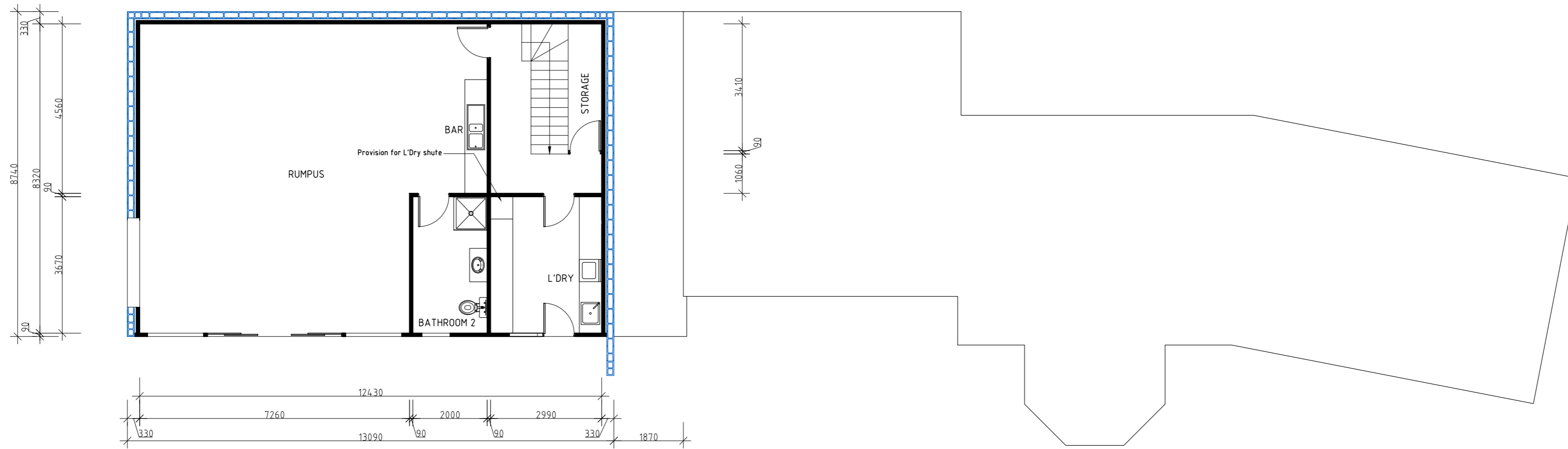
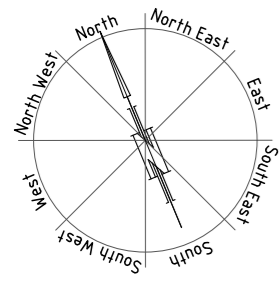
Areas	
Existing Total:	202.84m <sup>2</sup>
Proposed Addition:	130.84m <sup>2</sup>
Lower Level Addition:	114.40m <sup>2</sup>
Proposed Total:	448.08m <sup>2</sup>

BAL-12.5 see report by G Williams

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EXISTING  
 PROPOSED

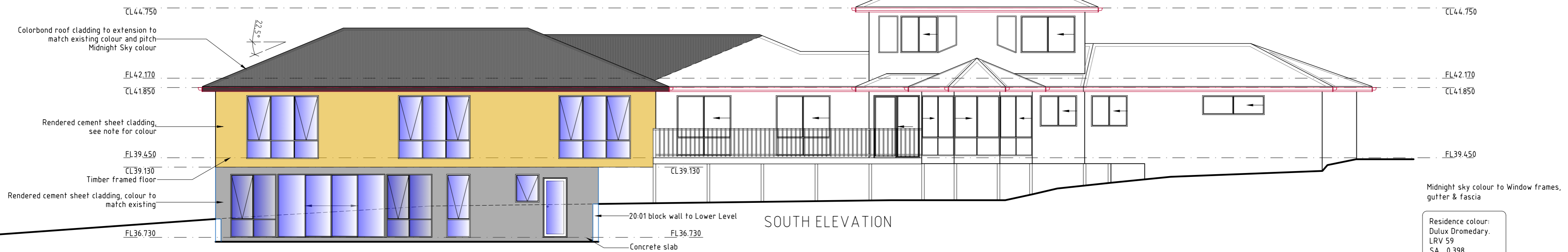
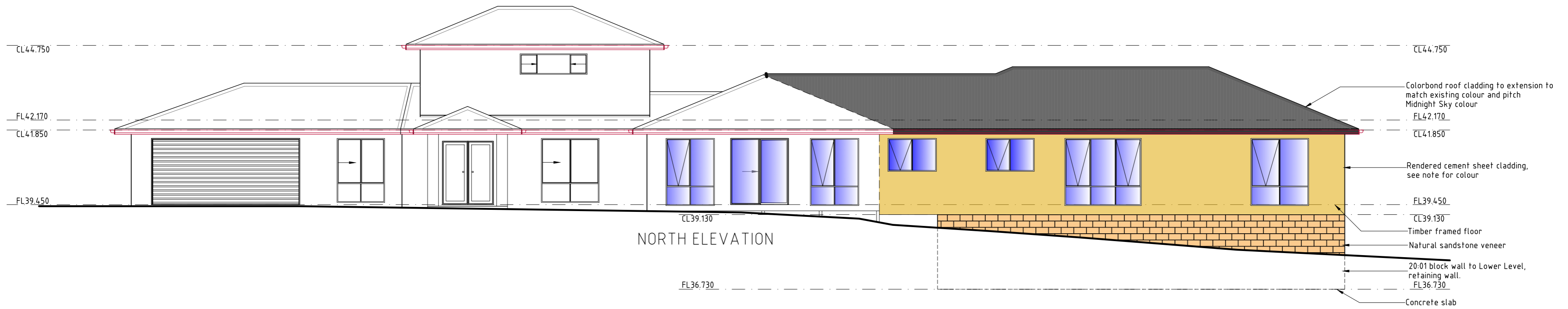
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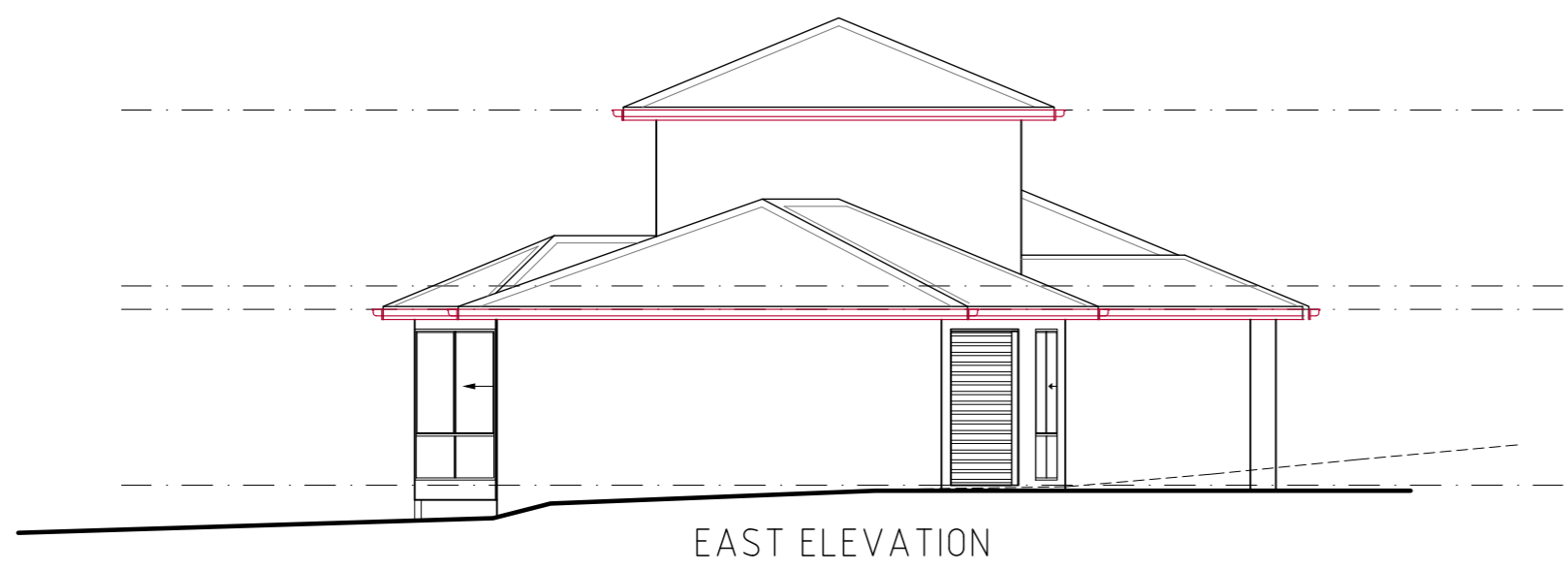
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PROPOSED ADDITION AND ALTERATIONS FOR MR S WOODFORD AT 51 DRAPER ROAD HOWDEN	PROPOSED LOWER LEVEL PLAN	DATE 18/ 11/ 24	DRAWN BY G. Tilley email: gtilley7@bigpond.com phone ph 0400 671 982
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Residence colour:  
 Dulux Dromedary.  
 LRV 59  
 SA 0.398  
 Colour Code S1F3  
 Colour values  
 R227  
 G191  
 B148

Natural Sandstone cladding to lower level, as a natural material no single LRV is able to be assigned. However, they typically range between 20%-60% LRV. As such care should be taken to selecting stones of the darker shades.



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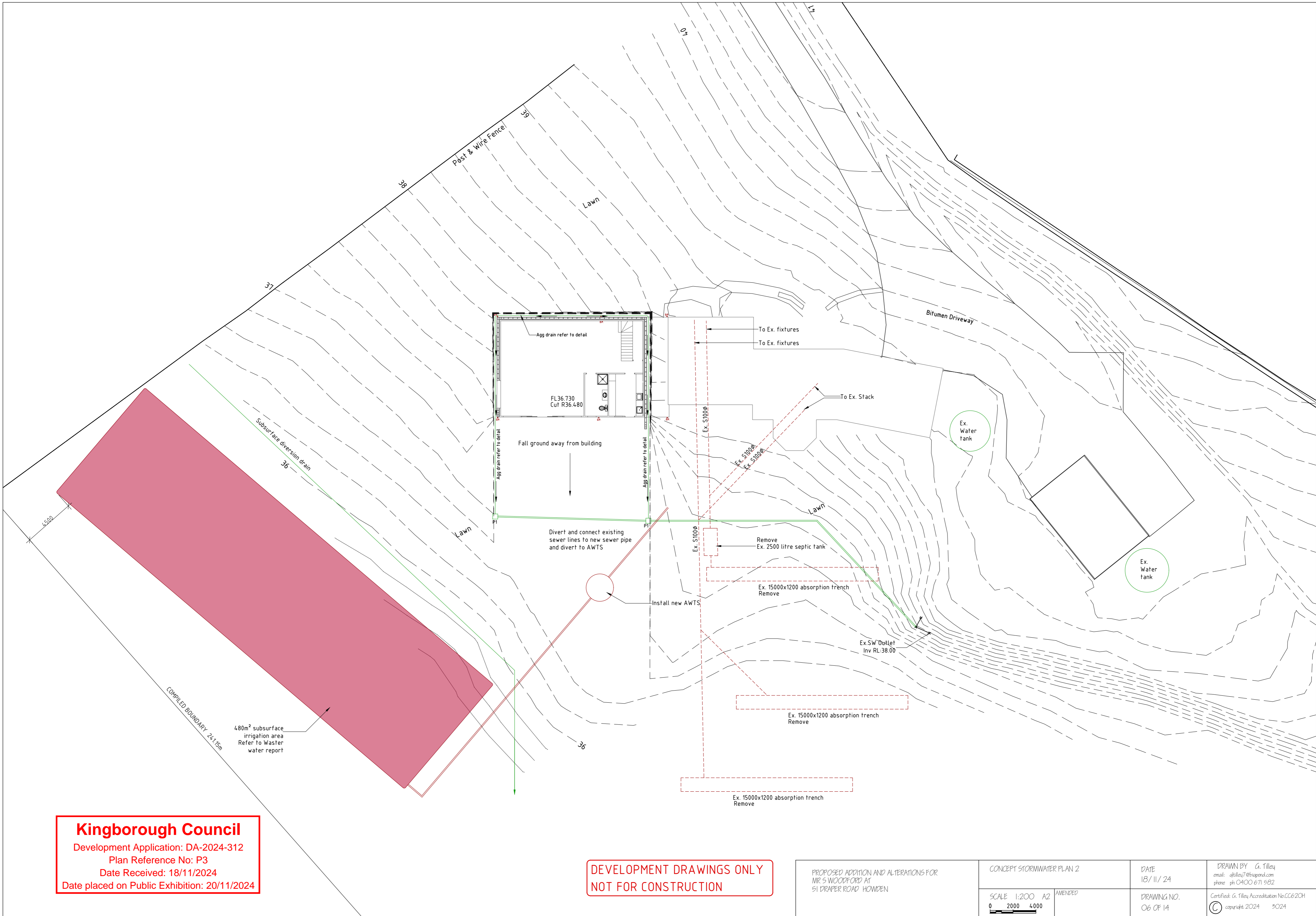
PROPOSED ADDITION AND ALTERATIONS FOR MR S WOODFORD AT 51 DRAPER ROAD HOWDEN	PROPOSED ELEVATIONS	DATE 18/11/24	DRAWN BY G. Tilley email: gtilley7@bigpond.com phone: ph 0400 671 982
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PROPOSED ADDITION AND ALTERATIONS FOR MR S WOODFORD AT 51 DRAPER ROAD HOWDEN	CONCEPT STORMWATER PLAN	DATE 18/11/24	DRAWN BY G. Tilley email: gtilley7@bigpond.com phone: ph 0400 671 982
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PROPOSED ADDITION AND ALTERATIONS FOR  
 MR S WOODFORD AT  
 51 DRAPER ROAD HOWDEN

CONCEPT STORMWATER PLAN 2  
 SCALE 1:200 A2  
 0 2000 4000

DATE  
 18/11/24  
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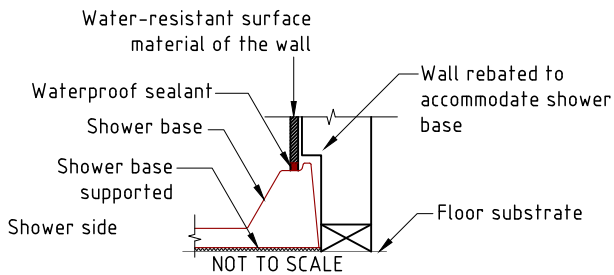
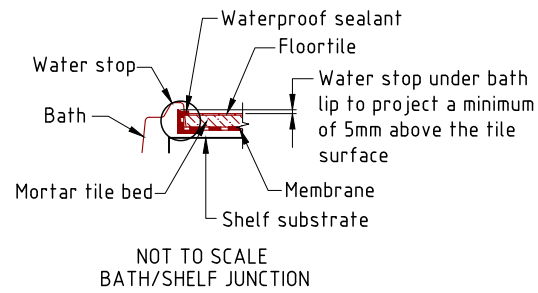
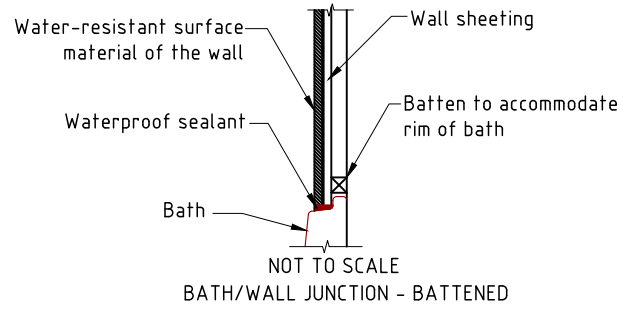
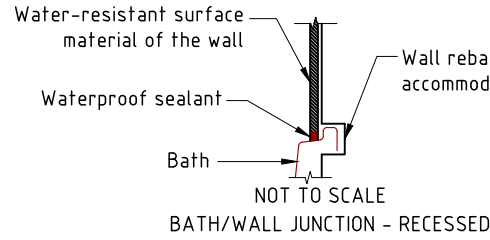
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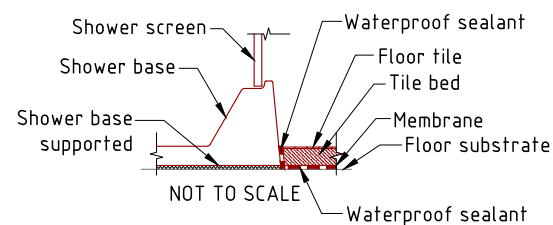
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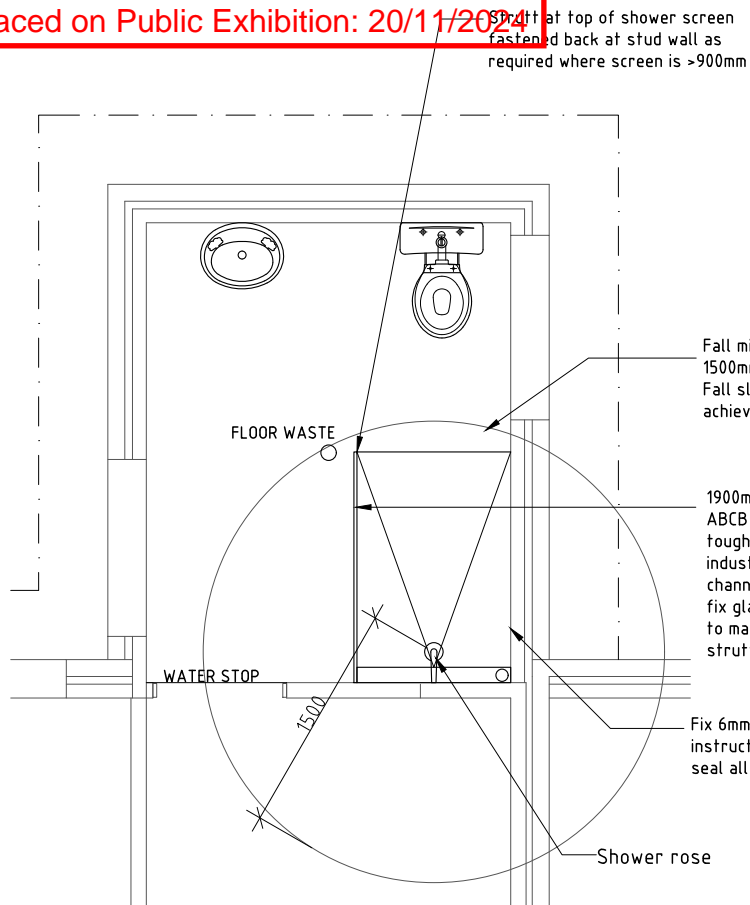
Date placed on Public Exhibition: 20/11/2024



TYPICAL PREFORMED SHOWER BASE WALL/FLOOR JUNCTION

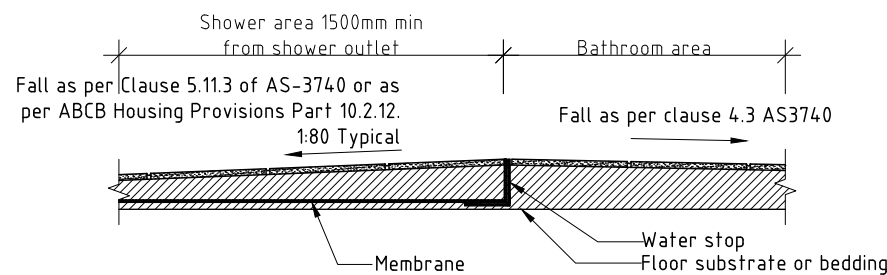


TYPICAL PREFORMED SHOWER BASE/FLOOR JUNCTION ON TIMBER FLOORS, INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER MATERIALS



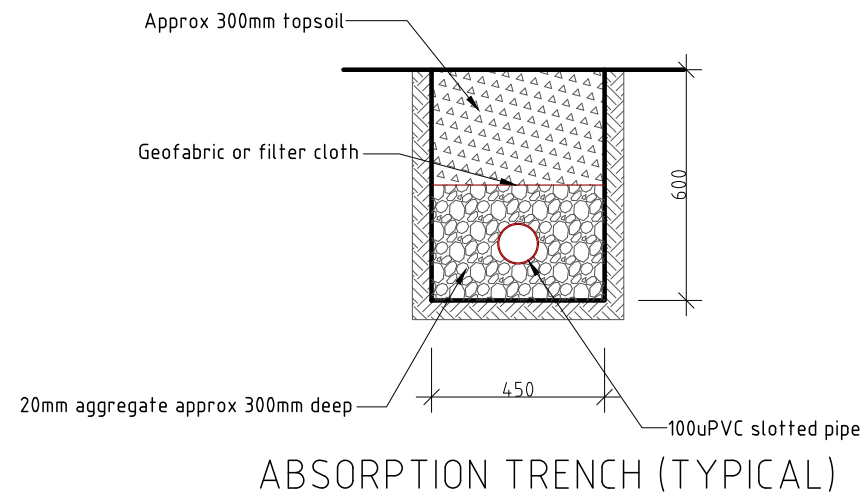
## WET AREA DETAIL (TYPICAL)

Scale 1:50  
Seal all joints, gaps & wall junctions with PVA sealant - cover floor/wall junctions min R6: 2 coats of approved PVA membrane installed to manufacturers instructions, including coth tape to wall junctions and penetrations. To floor, continue 50mm up vertical surfaces & to shower bay 1800x1500 each way from shower rose or to shower screen. To timber skirting or door architrave to stop <25mm above finished floor level.

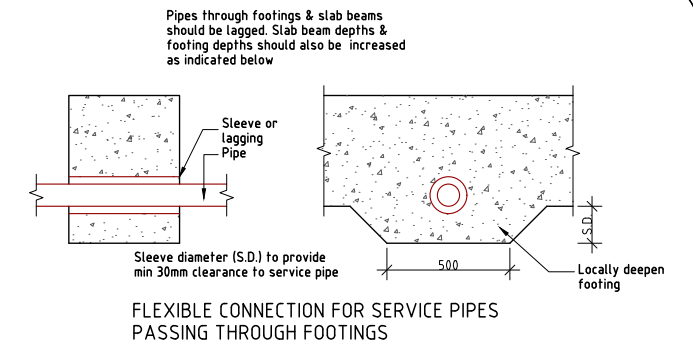


TYPICAL TERMINATION OF MEMBRANE AT EXTENT OF SHOWER AREA

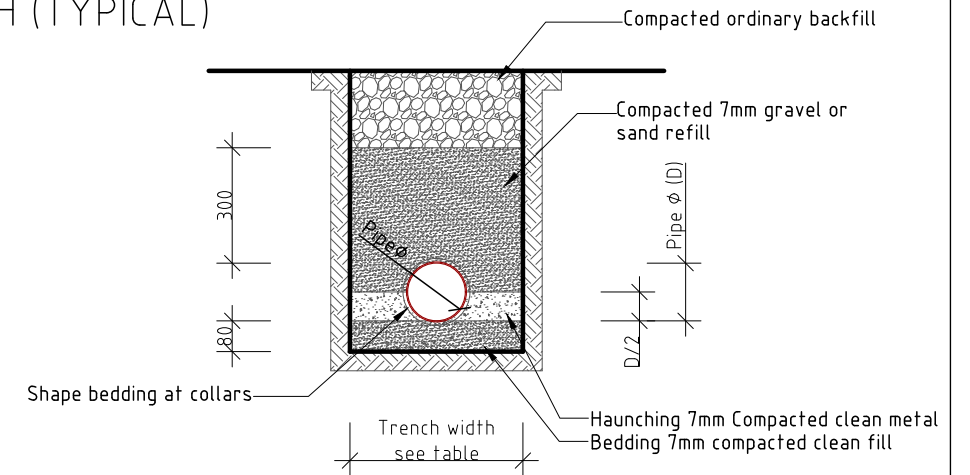
Scale 1:50



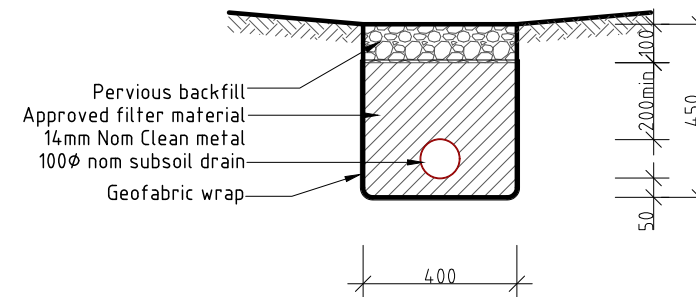
ABSORPTION TRENCH (TYPICAL)



FLEXIBLE CONNECTION FOR SERVICE PIPES PASSING THROUGH FOOTINGS



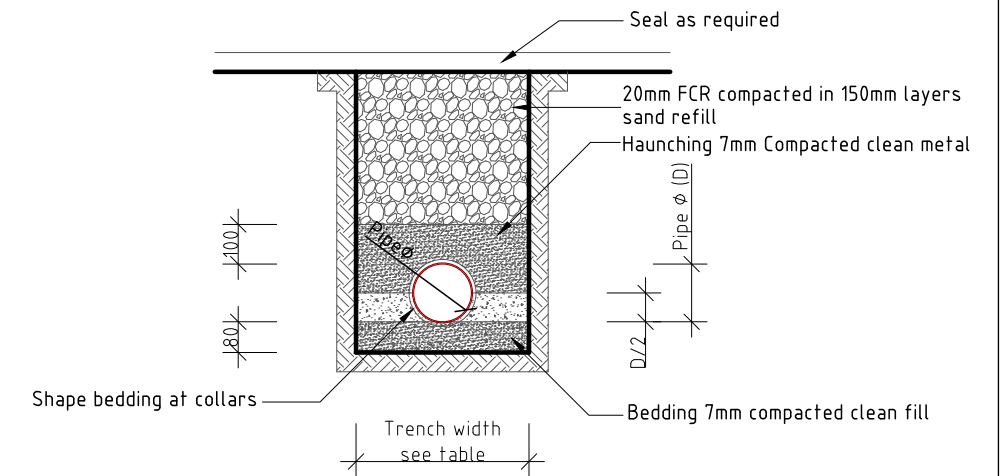
TYPICAL PIPE TRENCH DETAIL NON-TRAFFICABLE AREAS



TYPICAL AGG DRAIN DETAIL

NOTE: All materials and construction to comply with AS3500.3:2021

TRENCH WIDTHS	
Pipe diameter	Min trench width
Less than 50mm	250
75-100mm	450
150-300mm	600
>300mm	Ø plus 300mm



TYPICAL PIPE TRENCH DETAIL TRAFFICABLE AREAS

**IMPORTANT NOTICE FOR ATTENTION OF OWNER:**  
The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO Building Technology File 18 and it is the owners responsibility to maintain the site in accordance with that document.

Surface drainage to conform with NCC Vol. 2 Part H2D2. NOTE: 50mm fall required over first 1m from building.

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PROPOSED ADDITION AND ALTERATIONS FOR  
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51 DRAPER ROAD HOWDEN

PLUMBING DETAILS

SCALE 1:20  
0 200 400

AMENDED

DATE  
18/11/2024

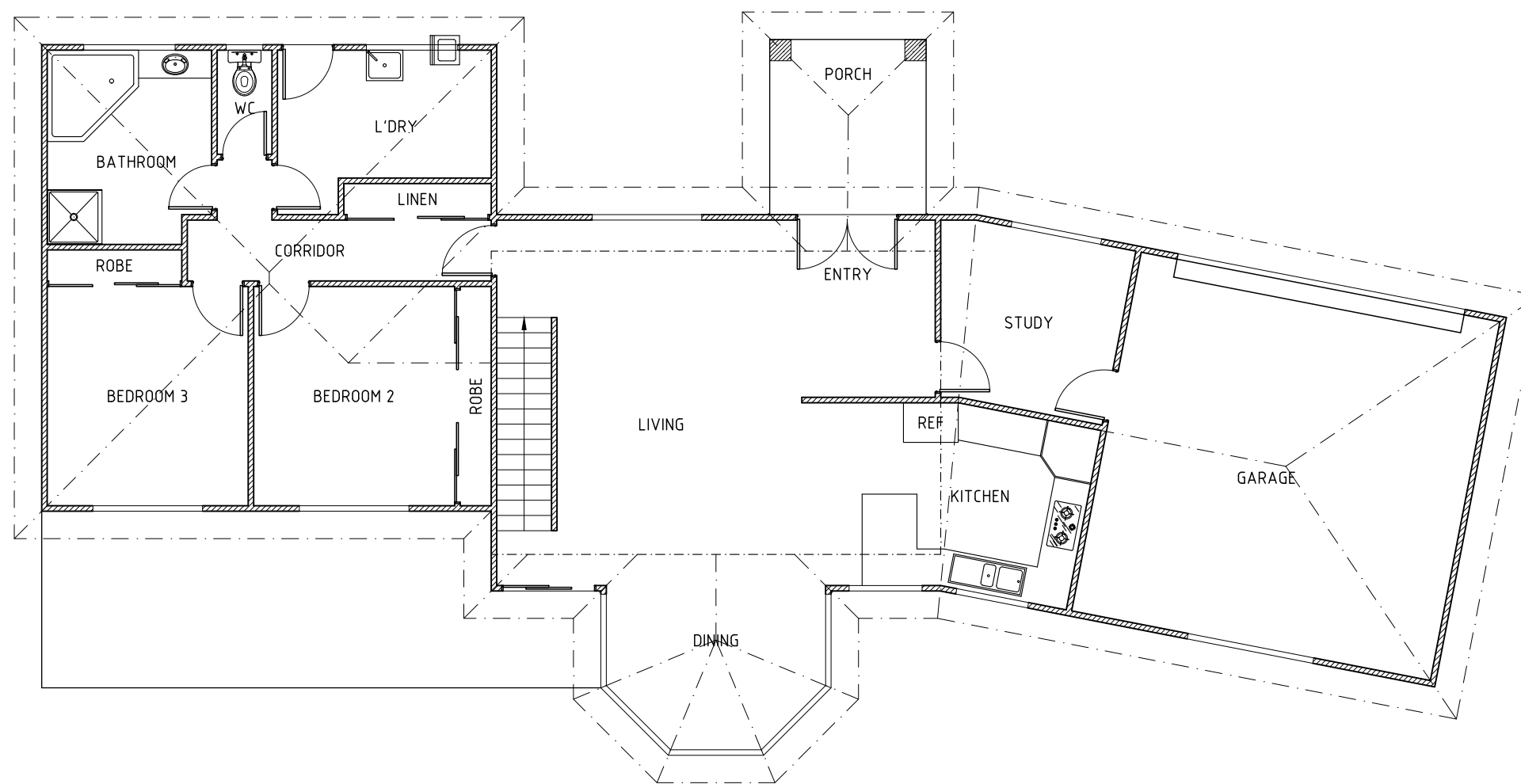
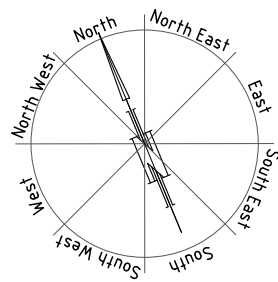
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email: gtilley7@biapond.com  
phone ph 0400 671 582

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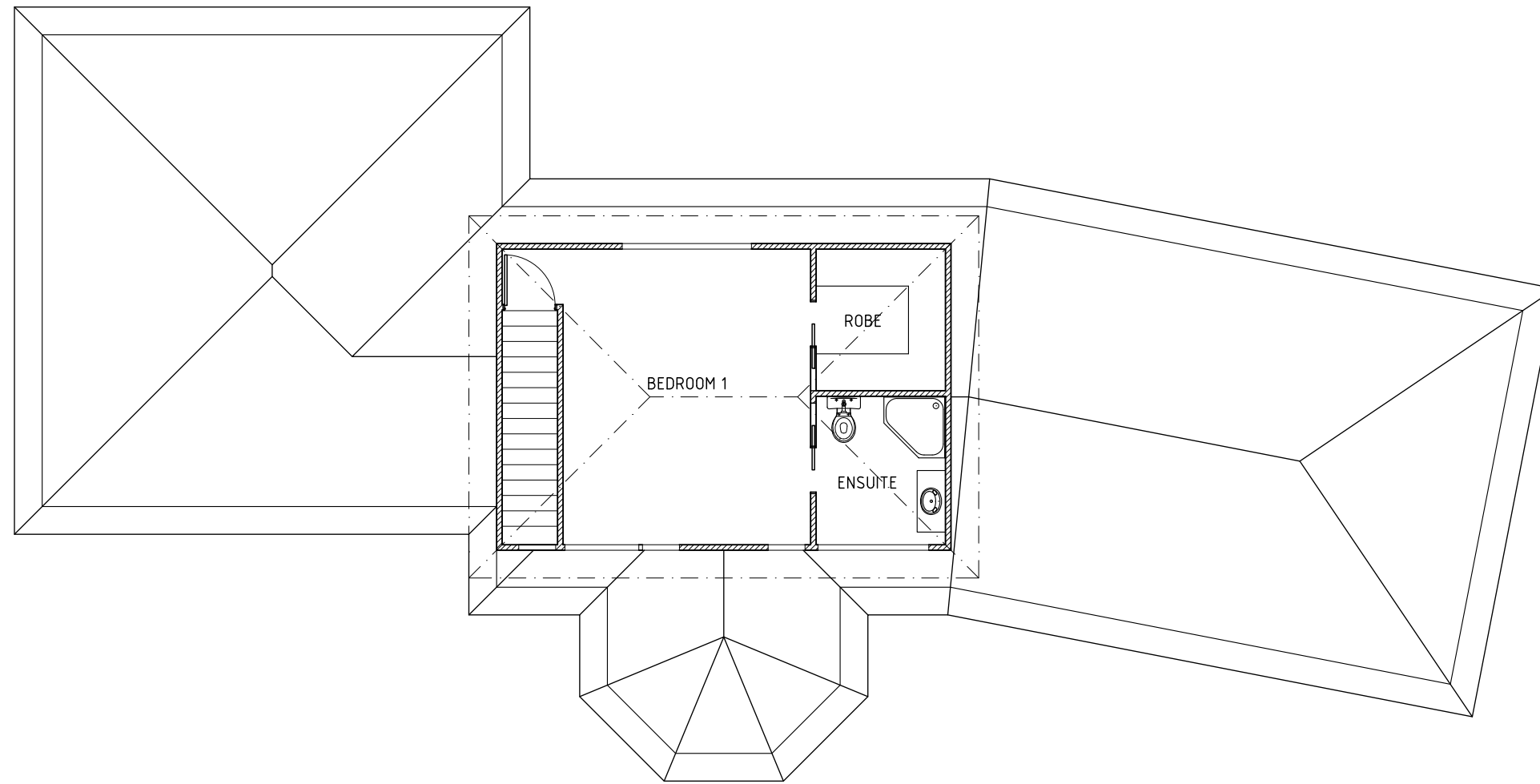
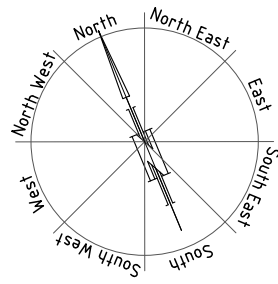
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Ex. Total:	202.84m <sup>2</sup>
Ex. Deck:	24.26m <sup>2</sup>

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NORTH ELEVATION



SOUTH ELEVATION

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PROPOSED ADDITION AND ALTERATIONS FOR  
MR S WOODFORD AT  
51 DRAPER ROAD HOWDEN

EXISTING RESIDENCE ELEVATIONS

SCALE 1:100 A3  
0 1000 2000

AMENDED

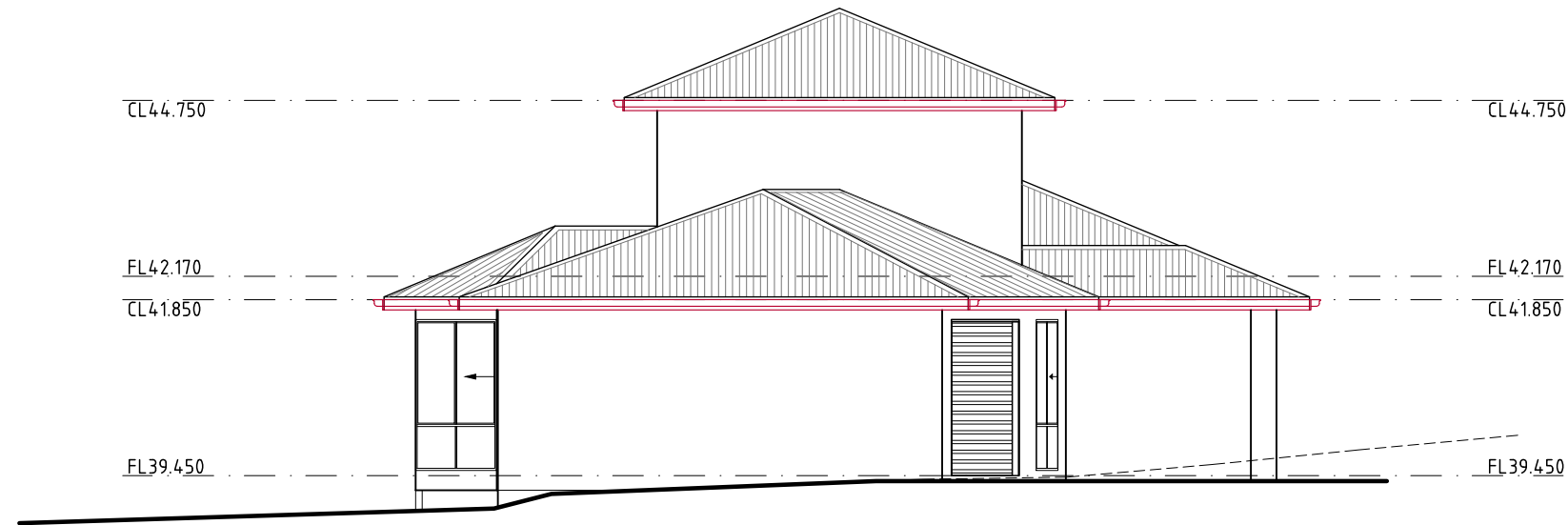
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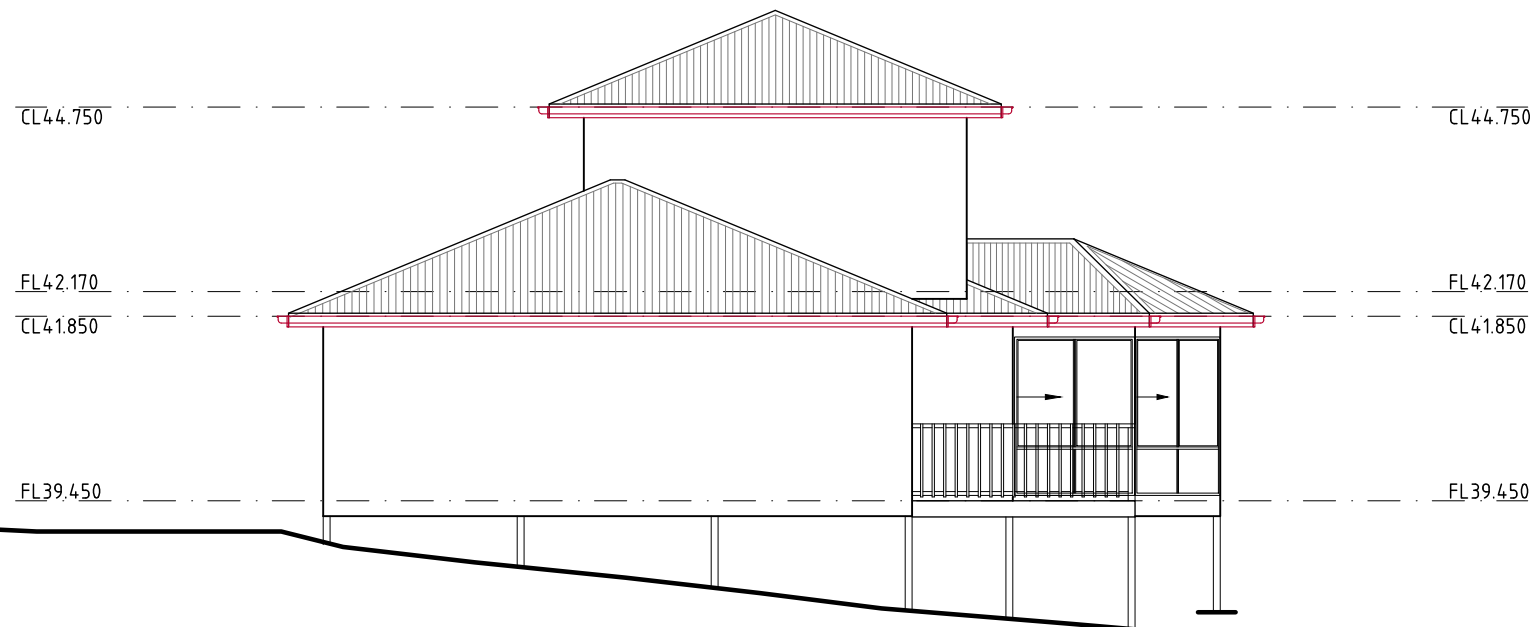
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EAST ELEVATION



WEST ELEVATION

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	SCALE 1:100 A3 0 1000 2000	AMENDED	DRAWING NO. 12 OF 14	Certified: G. Tilley Accreditation No. CC620H © copyright 2024 3024

**PRIVATE ACCESS REQUIREMENTS**

In order to provide safe access for emergency and other vehicles and a safe route for evacuation of residents, the layout, design & construction of private vehicular access to the buildings and to the firefighting water supply must be consistent with objectives of the Bushfire Prone Areas Code and National Construction Code requirements.

Private access roads must be designed, constructed and maintained to a standard not less than a Modified 4C Access Road in accordance with the Unsealed Roads Manual - Guidelines to Good Practice (Australian Building Codes Board, 2009). 4C roads are described as providing access to low use areas or individual rural property sites. These roads cater for low travel speed (20-40km/h according to terrain) and a range of vehicles in all weathers.

It is the responsibility of the property owners to provide a private access road/driveway from the public road. Private roads must provide access for emergency vehicles to within 30m of the furthest part of the building measured as a hose lay.

Gradient should not exceed 15°  
 Cross fall and drainage designed to allow all-weather access and reduce water damage.  
 Paving is to be all-weather gravel paved surface (or greater) over compacted road base.  
 Carriageway to be a minimum of 4m wide including formed shoulders.

Culverts and bridges to be designed for a minimum vehicle load of 20 tonnes. Road design and bridge design by a suitably qualified person may be required dependent on the complexity of the access. Private access less than 100m in length does not require a compliant turning area or passing bays. Private access greater than 100m in length requires a compliant turning area and passing bay. Passing bay to be 6m x 20m. The access must be maintained annually so as to be clear of vegetation and other obstructions for a minimum clearance of 2m width either side of and 4m height above the carriageway. In areas where a public hardstand within 3m of firefighting water supply is not available the developer must provide a hardstand for access to the firefighting water supply. The hardstand should be located greater than 6m from buildings but within 3m of the firefighting water supply access point. For this development the driveway or turning area could serve as the hardstand for access to the firefighting water supply.

Should any part of the private access be listed as a reserve road, a license must be obtained from Crown Land Services to utilise the reserve road as access to private property. It is the property owner's responsibility to ensure that the reserve road is located accurately before undertaking any upgrade to the road or clearing of vegetation.

**4.5 WATER SUPPLY REQUIREMENTS**

To ensure adequate supply of water for fire fighters and residents to defend buildings, each site must provide a permanent static water supply dedicated to firefighting purposes that is consistent with the objectives of Bushfire Prone Areas Code and National Construction Code requirements. No compliant fire hydrant exists for this site. In areas that are not serviced by a reticulated water supply by a Regional Corporation or where a compliant hydrant is not available, it is the responsibility of property owners to provide compliant water supply consistent with the objectives of Bushfire Prone Areas Code and National Construction Code requirements at the time of construction.

Firefighting water supply for this development would be best achieved by installing a compliant water storage tank. The exact location of the water storage tank is to be confirmed on site. Locate water storage tanks as described below:

- Greater than 6m from buildings
- Within 3m of an all-weather hardstand which is accessible from the private access. (The driveway or turning area could serve as the hardstand).
- Within 120m long hose reach of all ground level, exterior elements of habitable buildings.
- Vegetation must be clear 6m around and 4m above the water storage tank.

Selection of water storage tanks as described below:  
 - Water tank and above ground pipes and fittings must be made of non-rusting, non-combustible and non-heat-deforming materials.

- Capacity for a minimum of 10,000 litres of stored water  
 Water tank to either have an opening in the top not less than 250mm diameter or be fitted with a DIN or NEN Standard compliant forged Storz 65mm adaptor coupling fitted with a standard washer rated to 1800kPa working pressure and 2400kPa burst pressure. Polyethylene tanks are not considered to be non-combustible unless supporting evidence can be provided to show otherwise. Research by Bushfire CRC and AFAC (Bushfire CRC, 2010) indicates that steel construction tanks have the greatest chance of retaining their structural integrity and preventing water loss under bushfire condition, while polyethylene tanks are at risk of total failure when adjacent combustible items are present, such as heavy forest fuels, fences, structures, or even other polyethylene tanks. The findings suggest that plastic rainwater storage tanks require a clearance zone of around 30 metres, free of excess leaf building up, combustible material, or other plastic tanks.

**SIGNAGE FOR STATIC WATER CONNECTIONS**

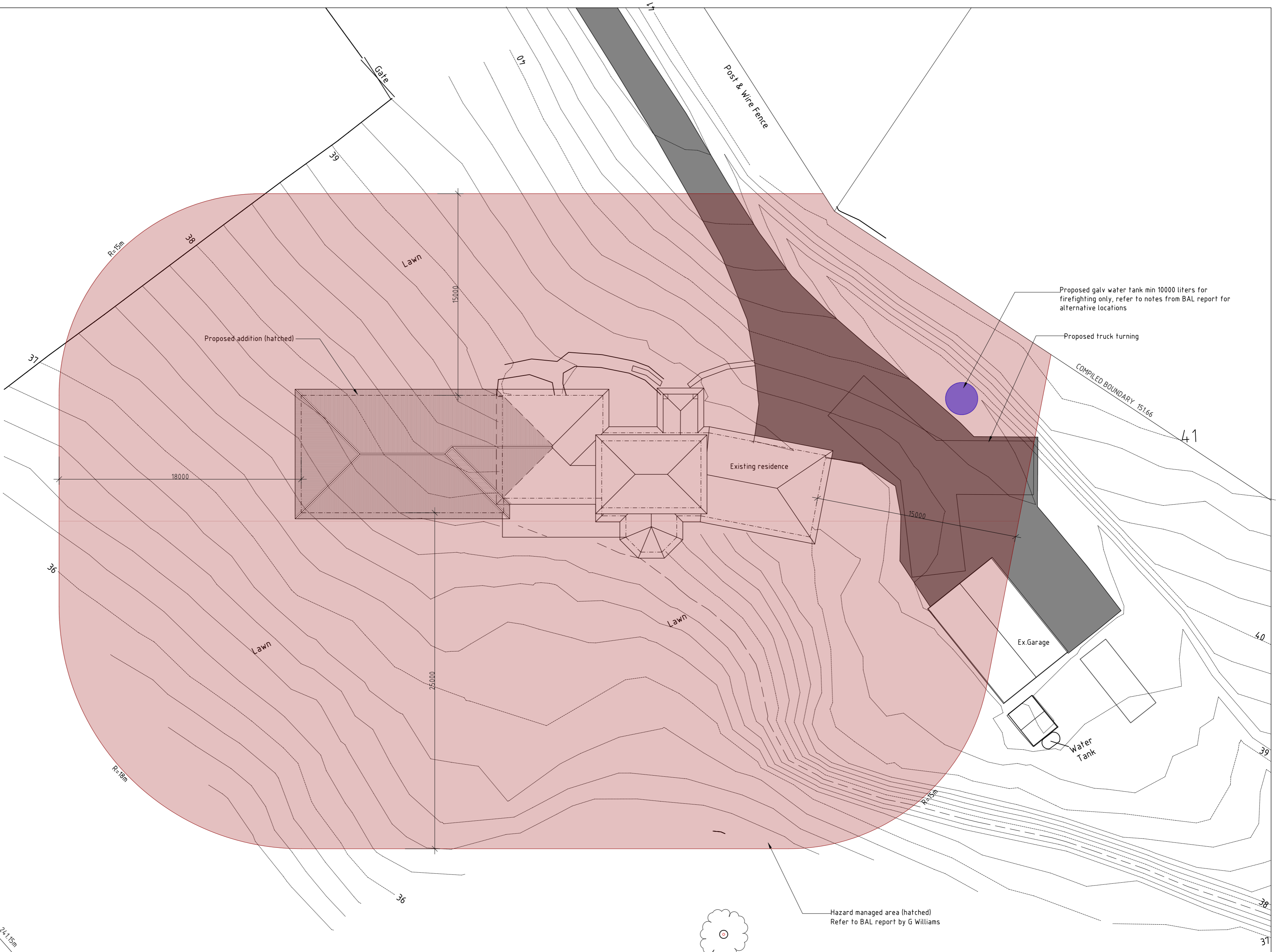
The water connection point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The fire fighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must:

- comply with water tank signage requirements within Australian Standard AS 2304-2019 Water storage tanks for fire protection systems; or
- comply with the Tasmania Fire Service Water Supply Signage Guideline published by the Tasmania Fire Service

Installation of a charged supply line (of suitable diameter capable of supplying a minimum flow rate of 270 litres per minute) with a compliant outlet located within 3m of an all-weather hardstand could be considered where compliant location and access to water tanks cannot be achieved. The outlet must be no more than 3m above the static water supply. Outlets must be clearly identified with suitable signage so that they are easily located by fire-fighters to all hours. Hydraulic design by a suitably qualified person may be required dependent on the complexity of the system.

It is the responsibility of the property owners to provide a hardstand for access to the firefighting water storage tank. The hardstand should be located greater than 6m from buildings. Keep the hardstand clear of vegetation and other obstructions so as to provide a clear and safe working area 10.3m x 5.5m. For this development, the driveway or turning area could serve as the hardstand for access to the firefighting water supply. Ensure that access to the water supply is readily available at all times and do not allow access to be blocked.

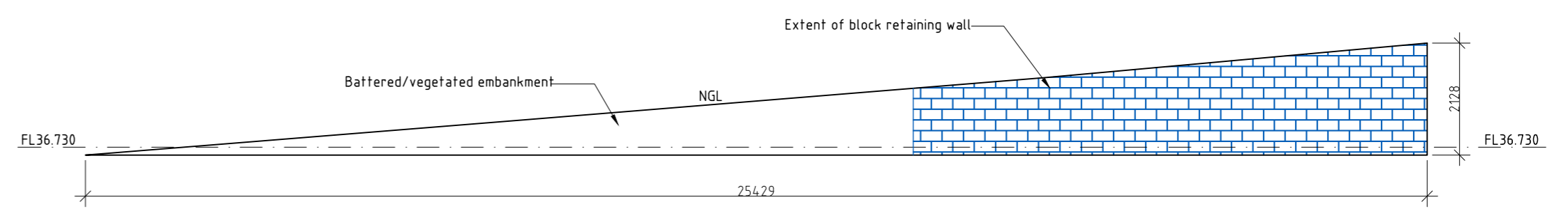
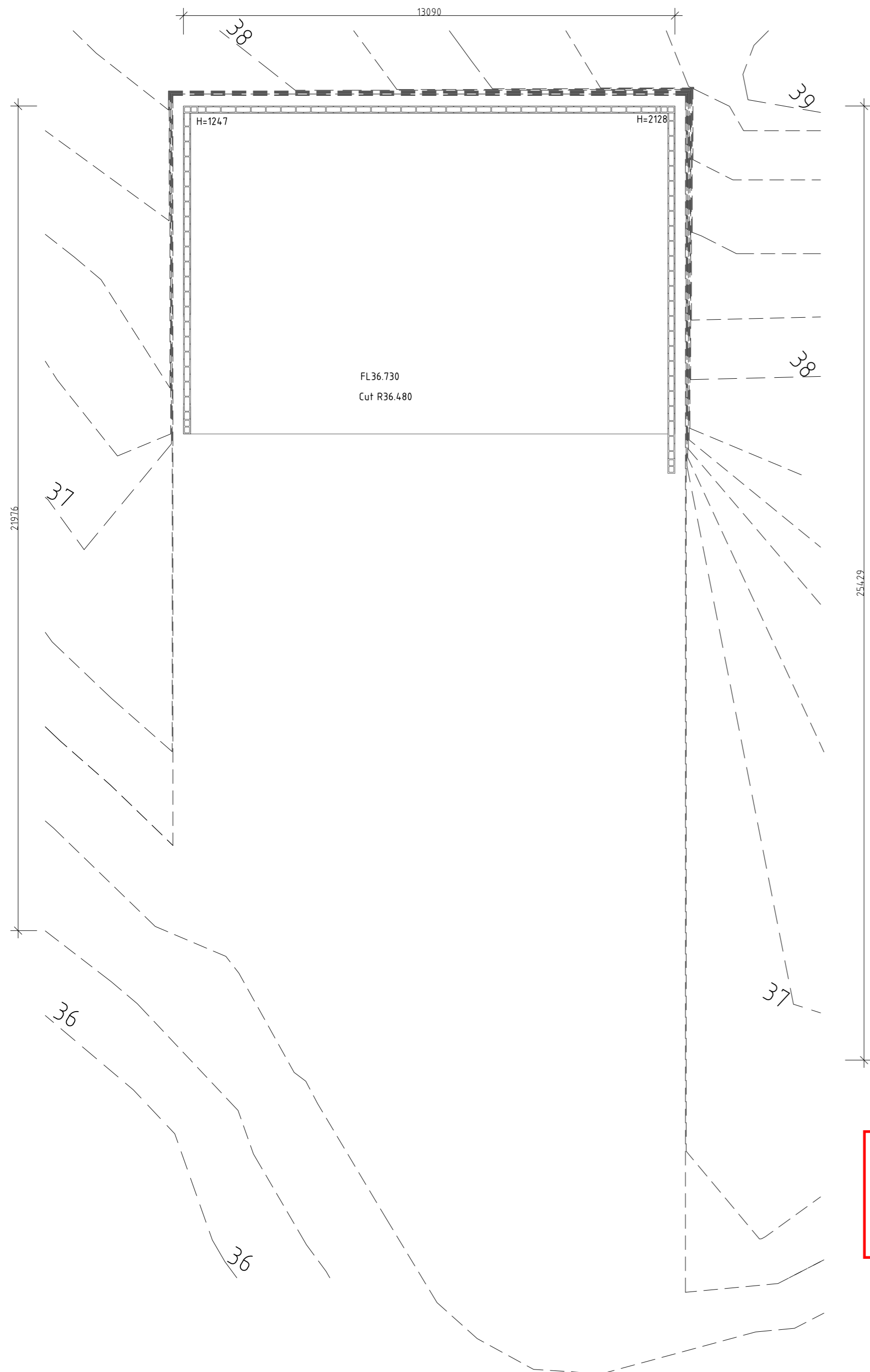
4.6 Agreement (Part 5) Land Use Planning and Approvals Act



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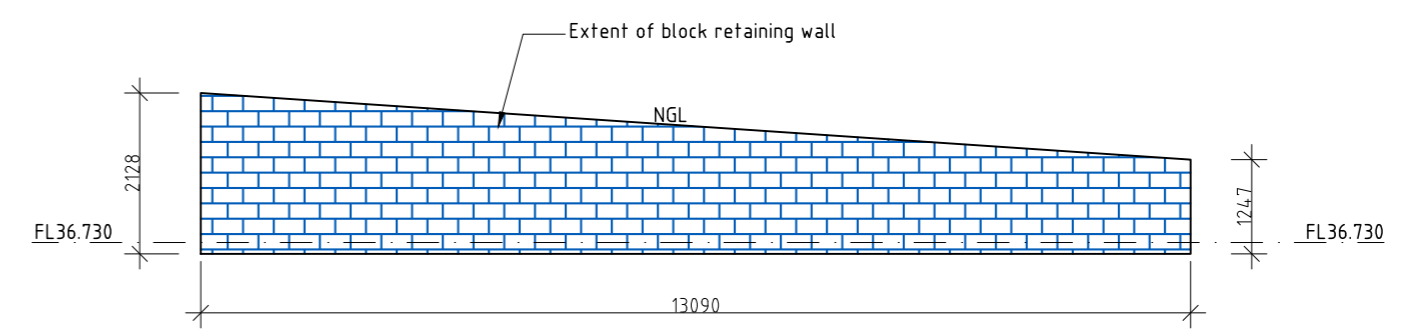
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	SCALE 1:200 A2 0 2000 4000	AMENDED	DRAWING NO. 13 OF 14
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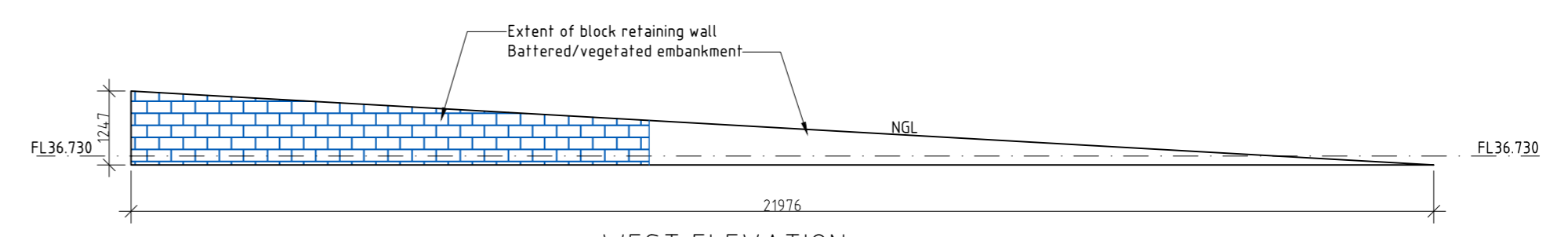
**EAST ELEVATION**

Area of elevation 26.37m<sup>2</sup>  
 Volume of excavation :291m<sup>3</sup>  
 Excess fill to be relocated to old quarry site on the property



**NORTH ELEVATION**

Area of elevation 22.08m<sup>2</sup>  
 Volume of excavation :291m<sup>3</sup>  
 Excess fill to be relocated to old quarry site on the property



**WEST ELEVATION**

Area of elevation 13.69m<sup>2</sup>  
 Volume of excavation :291m<sup>3</sup>  
 Excess fill to be relocated to old quarry site on the property

**Kingborough Council**  
 Development Application: DA-2024-312  
 Plan Reference No: P3  
 Date Received: 18/11/2024  
 Date placed on Public Exhibition: 20/11/2024

**DEVELOPMENT DRAWINGS ONLY  
 NOT FOR CONSTRUCTION**

PROPOSED ADDITION AND ALTERATIONS FOR MR S WOODFORD AT 51 DRAPER ROAD HOWDEN	EXCAVATION PLAN & ELEVATIONS	DATE 18/ 11/ 24	DRAWN BY G. Tilley email: gtilley7@bigpond.com phone: ph 0400 671 982
	SCALE 1:100 A2 0 1000 2000	AMENDED	DRAWING NO. 14 OF 14
			Certified G. Tilley Accreditation No. CC6201 © copyright 2024 2024

### Existing shed details:

No excavation was required. Installed at existing ground level on concrete slab. Building height above natural ground 2.40m. Colour is classic cream. Width 2.10m, length 3.0m



### Existing container details

No excavation was required. Resting on existing surface on blocks to level it. Height above natural ground level is 2.62m at the high end, and 2.45m at the low end. Colour is classic cream. Width 2.43m, length 6.05m



**Kingborough Council**

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