

APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2024-309
Proposal: Seven (7) multiple dwellings
Subject Site: 2, 4, 6, 8, 10 & 12 Cassytha Close and 67 & 518 Village Drive, Kingston
Responsible Planning Officer: Camilo Miranda

Advertised Documents:

- Application Plans
- Bushfire Hazard Assessment

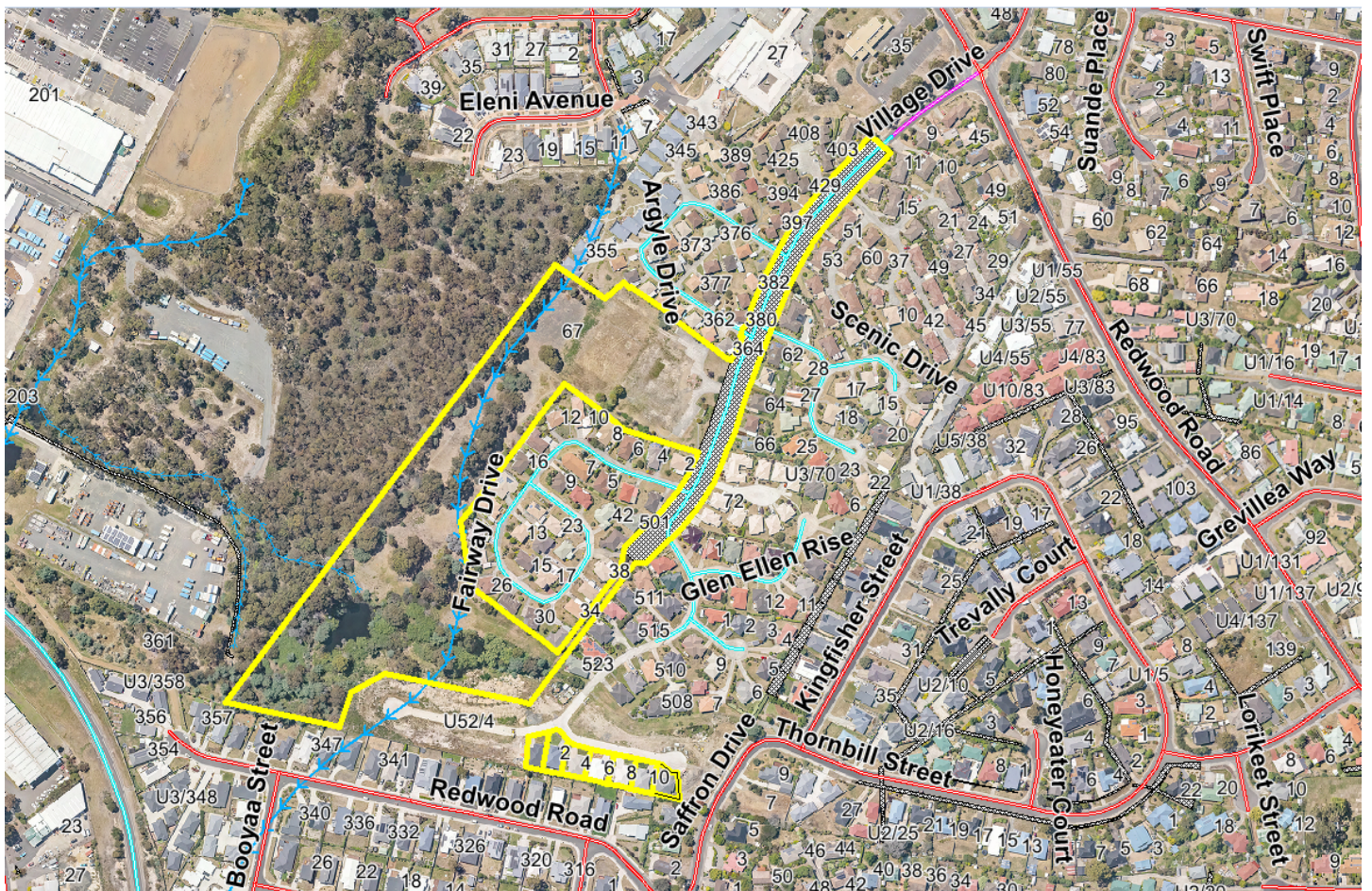
Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **3 December 2024**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.



Kingborough Council

Development Application: DA-2024-309
Plan Reference No: P2
Date Received: 13/11/2024
Date placed on Public Exhibition: 20/11/2024



ORAMATIS

DEVELOPMENT APPLICATION

4 VILLAGE DRIVE KINGSTON TAS 7050

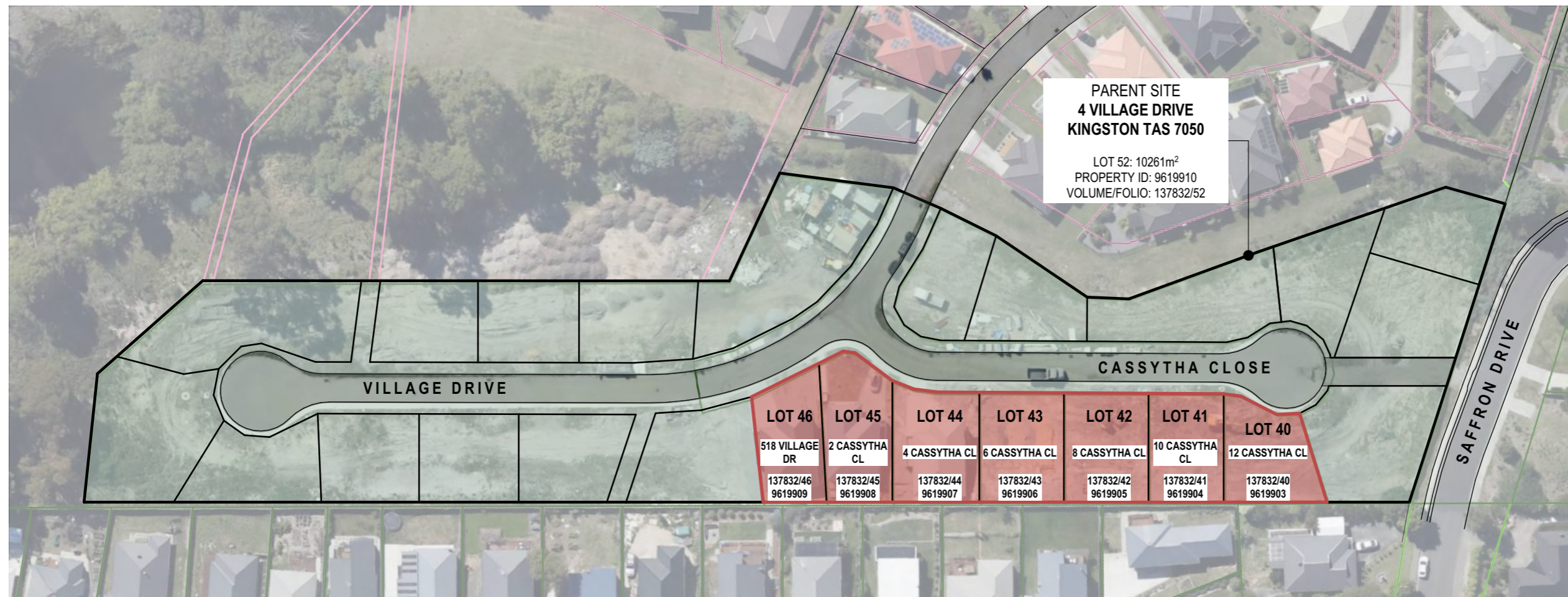
CASSYTHA CLOSE MULTI-UNIT DEVELOPMENT

ID	LAYOUT	REV	ID	LAYOUT	REV	ID	LAYOUT	REV	ID	LAYOUT	REV
	COVER		L45-A101	SITE PLAN & CONTEXT		L43-A105	ELEVATION 01		L40-A101	SITE PLAN & CONTEXT GF	
A001	NOTES & SITE LOCATION		L45-A102	GROUND FLOOR PLAN		L43-A106	ELEVATION 02		L40-A102	GROUND FLOOR PLAN	A
A002	SITE PLAN LOT 44-46		L45-A103	FIRST FLOOR PLAN		L43-A107	WINDOW & DOOR SCHEDULE		L40-A103	FIRST FLOOR PLAN	
A003	SITE PLAN LOT 42-43		L45-A104	ROOF PLAN		L42-A101	SITE PLAN & CONTEXT		L40-A104	ROOF PLAN	
A004	SITE PLAN LOT 40-41	A	L45-A105	ELEVATION 01	A	L42-A102	GROUND FLOOR PLAN		L40-A105	ELEVATION 01	
A005	SITE ELEVATION L45&L46	A	L45-A106	ELEVATION 02		L42-A103	FIRST FLOOR PLAN		L40-A106	ELEVATION 02	
A006	SITE ELEVATION L44&L45		L45-A107	WINDOW & DOOR SCHEDULE		L42-A104	ROOF PLAN		L40-A107	WINDOW & DOOR SCHEDULE	
A007	SITE ELEVATION L43&L44		L44-A101	SITE PLAN & CONTEXT		L42-A105	ELEVATION 01				
A008	SITE ELEVATION L41&L42	A	L44-A102	GROUND FLOOR PLAN		L42-A106	ELEVATION 02	A			
A009	SITE ELEVATION L40&L41	A	L44-A103	FIRST FLOOR PLAN		L42-A107	WINDOW & DOOR SCHEDULE				
L46-A101	SITE PLAN & CONTEXT GF		L44-A104	ROOF PLAN		L41-A101	SITE PLAN & CONTEXT GF				
L46-A102	SITE PLAN & CONTEXT FF	A	L44-A105	ELEVATION 01		L41-A102	SITE PLAN & CONTEXT FF	A			
L46-A103	GROUND FLOOR PLAN		L44-A106	ELEVATION 02		L41-A103	GROUND FLOOR PLAN				
L46-A104	FIRST FLOOR PLAN		L44-A107	WINDOW & DOOR SCHEDULE		L41-A104	FIRST FLOOR PLAN				
L46-A105	ROOF PLAN		L43-A101	SITE PLAN & CONTEXT		L41-A105	ROOF PLAN				
L46-A106	ELEVATION 01	A	L43-A102	GROUND FLOOR PLAN		L41-A106	ELEVATION 01	A			
L46-A107	ELEVATION 02		L43-A103	FIRST FLOOR PLAN		L41-A107	ELEVATION 02				
L46-A108	WINDOW & DOOR SCHEDULE		L43-A104	ROOF PLAN		L41-A108	WINDOW & DOOR SCHEDULE				

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GENERAL NOTES

- GENERAL
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- DO NOT SCALE FROM THIS DRAWING
- THE CONTRACTOR SHALL CONFIRM ON SITE EXISTING CONDITIONS, LEVELS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS
- ALL DISCREPANCIES TO BE REPORTED TO THE ARCHITECT FOR INSTRUCTION
- ALL LEVELS INDICATED PERTAIN TO FINISHED LEVELS AND NOT STRUCTURAL LEVELS UNLESS OTHERWISE INDICATED
- MATERIALS AND WORK PRACTICES SHALL COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) AND OTHER RELEVANT CODES REFERRED TO IN THE NCC
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, SPECIFICATIONS AND DRAWINGS
- PROPRIETARY ITEMS, SYSTEMS AND ASSEMBLIES ARE TO BE ASSEMBLED, INSTALLED OR FIXED IN CONFORMANCE WITH THE CURRENT WRITTEN RECOMMENDATIONS AND INSTRUCTIONS OF THE MANUFACTURER OR SUPPLIER
- WORKPLACE HEALTH AND SAFETY
 ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SAFE DESIGN REPORT
- ALL CONTRACTORS MUST CARRY OUT WORKS IN ACCORDANCE WITH CURRENT HEALTH AND SAFETY LEGISLATION AND BEST PRACTICE INCLUDING PREPARATION OF A CONSTRUCTION SAFETY MANAGEMENT PLAN
- LAND TITLE REFERENCE
 VOLUME (PLAN): 137832/52
- DESIGN WIND SPEED
 WIND LOADING TO AS 4055: N2
- SOIL CLASSIFICATION
 SOIL CLASSIFICATION TO AS 2870: S
- CLIMATE ZONE FOR THERMAL DESIGN
 CLIMATE ZONE TO BCA FIGURE 1.1.4: 7
- BUSHFIRE PRONE AREA BAL RATING
 BUSHFIRE ATTACK LEVEL (BAL) TO AS 3959: BAL-12.5
- CORROSION ENVIRONMENT
 CORROSION ENVIRONMENT TO AS/NZS 2312: N/A
- KNOWN SITE HAZARDS: n/a



1 **SITE LOCATION PLAN**
SCALE 1:1000



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 e: admin@oramatis.com.au
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 Building Practitioner Accreditation: CC6540
 Document Set ID: 4539386

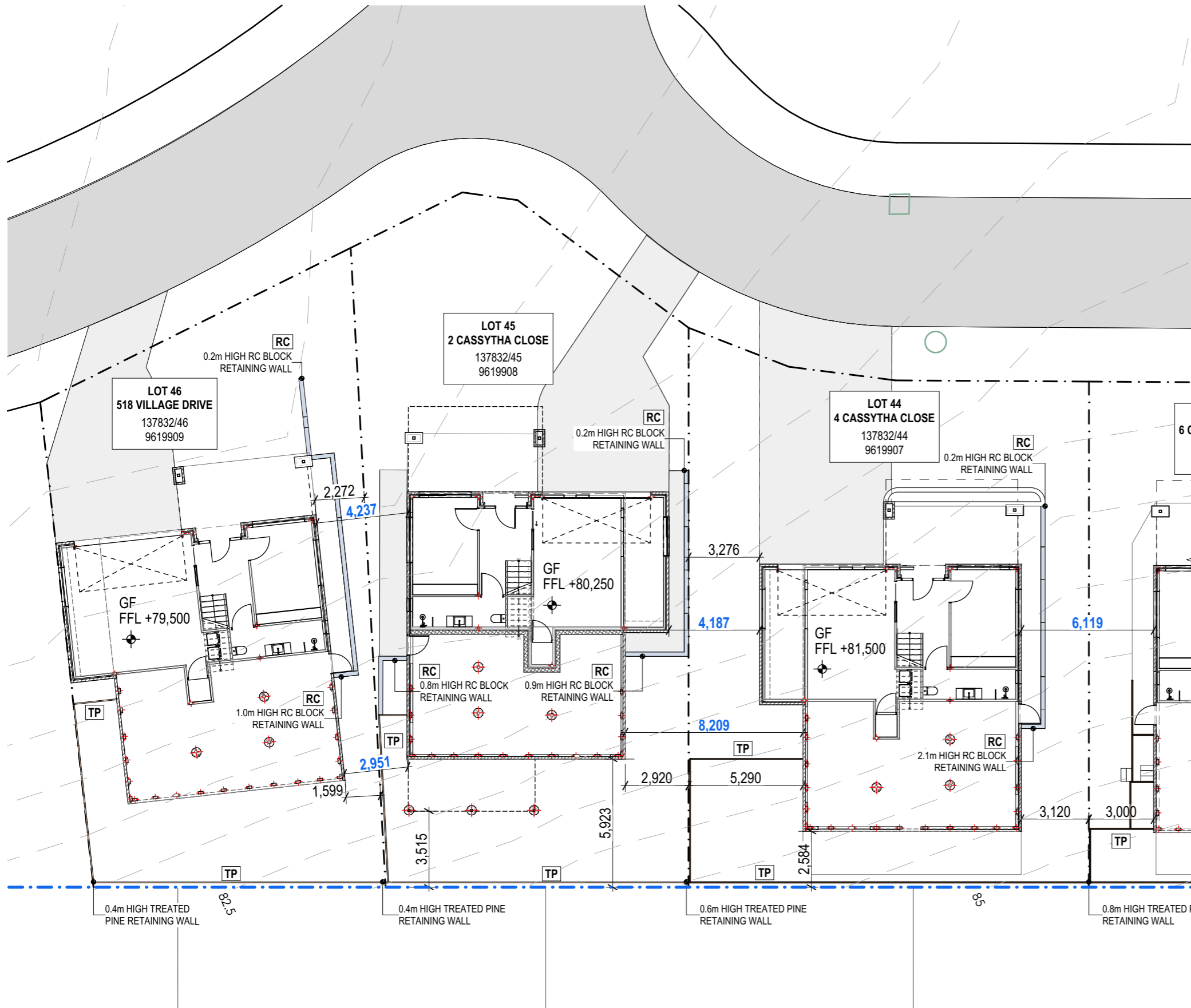
GENERAL NOTES

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Rev ID	Description	Date

PROJECT	REVISION	DATE	SCALE
CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050		13/11/2024	AS SHOWN @ A3
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
MORNING STAR HOLDINGS PTY LTD	2009	A.HILL	J. LIM

PAGE	NORTH
A001	
DRAWING	
NOTES & SITE LOCATION	



LEGEND & NOTES

- SW --- Proposed stormwater line (Ø100 UPVC)
- S --- Proposed unit sewer (Ø100 UPVC)
- SW --- Proposed stormwater main
- S --- Proposed sewer main
- W --- Proposed water main
- AG --- Proposed AG pipe
- Lot boundary
- Parent site boundary
- TP Treated pine retaining wall
- RC Reinforced concrete block retaining wall
- GP 450 SQ Grated pit
- POS Private open space
- ORG Overflow relief gully
- DP Ø90 downpipe
- Dimension Dimension in blue denotes distance between units, measured from external wall finishes at ground floor level. Refer to **A005-A009** for more details

NOTE:
All driveway, parking and turning areas to be sealed with concrete and to comply with planning conditions.

Kingborough Council
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1 **SITE PLAN**
@ A3 Scale 1:200

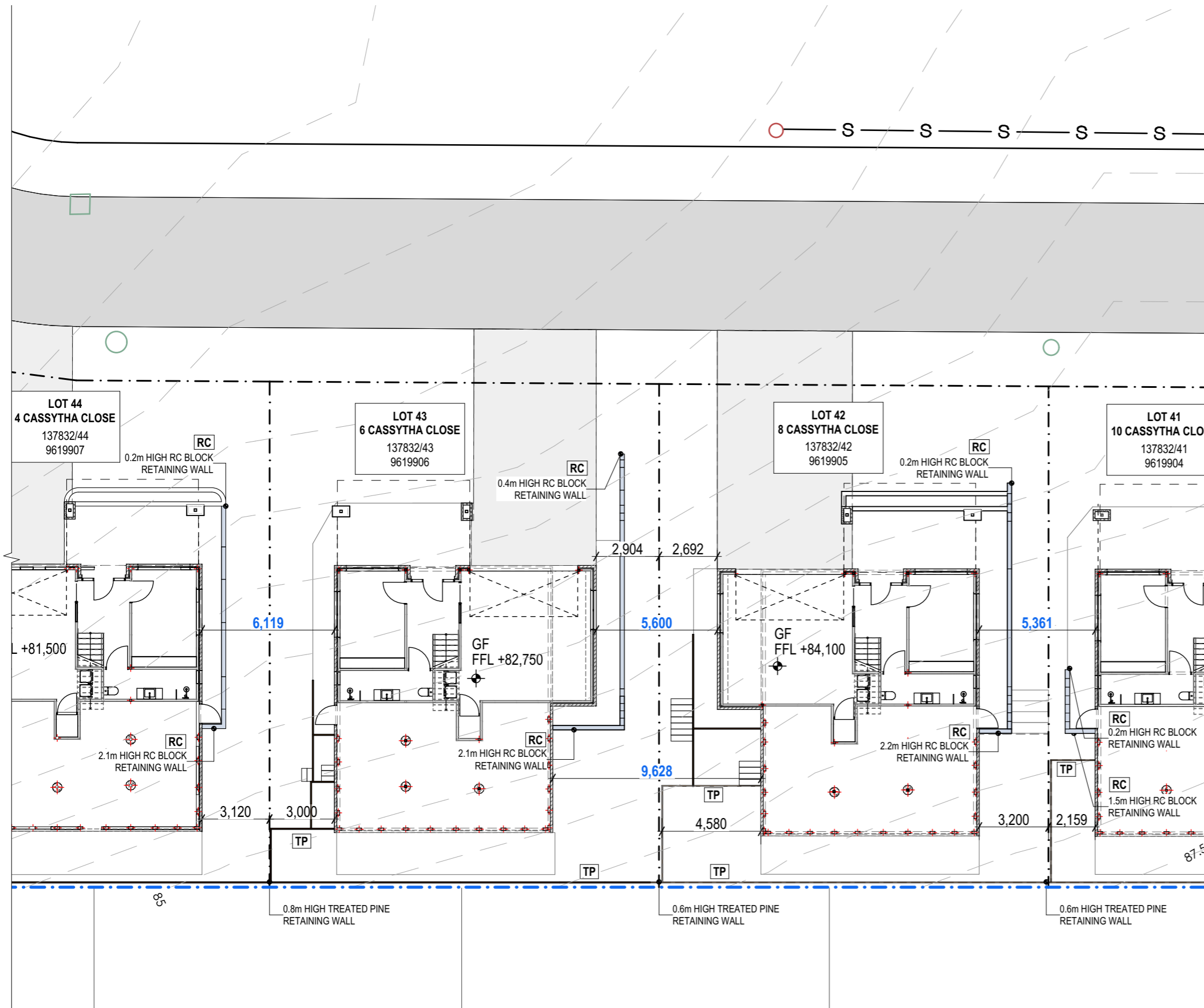
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Rev ID	Description	Date

PROJECT	CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050
CLIENT	MORNING STAR HOLDINGS PTY LTD

REVISION	DATE	SCALE
	13/11/2024	AS SHOWN @ A3
PROJECT ID	CHECKED BY	DRAWN BY
2009	A.HILL	J. LIM

PAGE	NORTH
A002	N
DRAWING	DRAWING
SITE PLAN LOT 44-46	



LEGEND & NOTES

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Kingborough Council

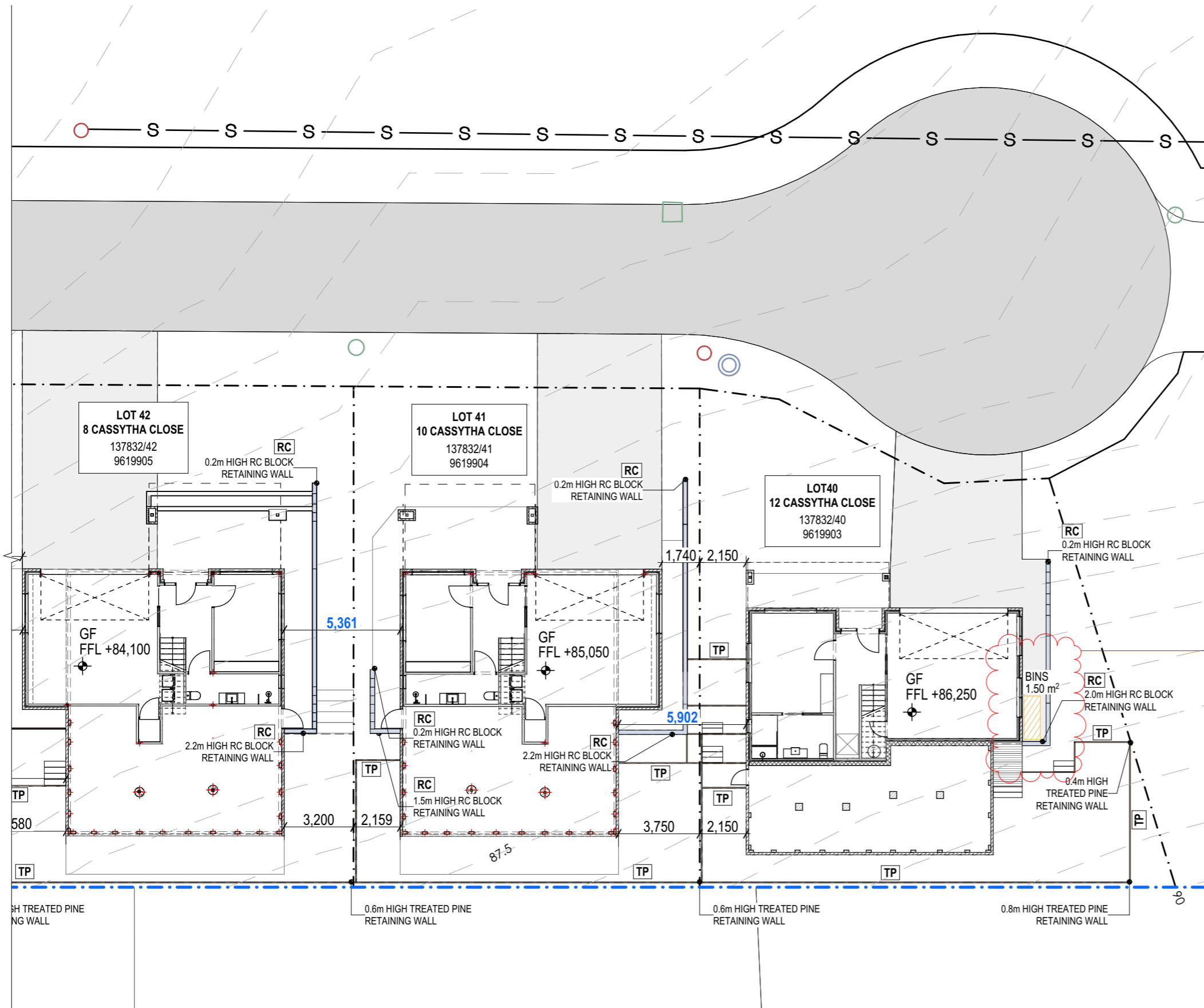
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1 **SITE PLAN**
@ A3 Scale 1:200

Rev ID	Description	Date

PROJECT CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050	REVISION	DATE 13/11/2024	SCALE AS SHOWN @ A3
CLIENT MORNING STAR HOLDINGS PTY LTD	PROJECT ID 2009	CHECKED BY A.HILL	DRAWN BY J. LIM

REVISION	DATE	SCALE
PROJECT ID	CHECKED BY	DRAWN BY



LEGEND & NOTES

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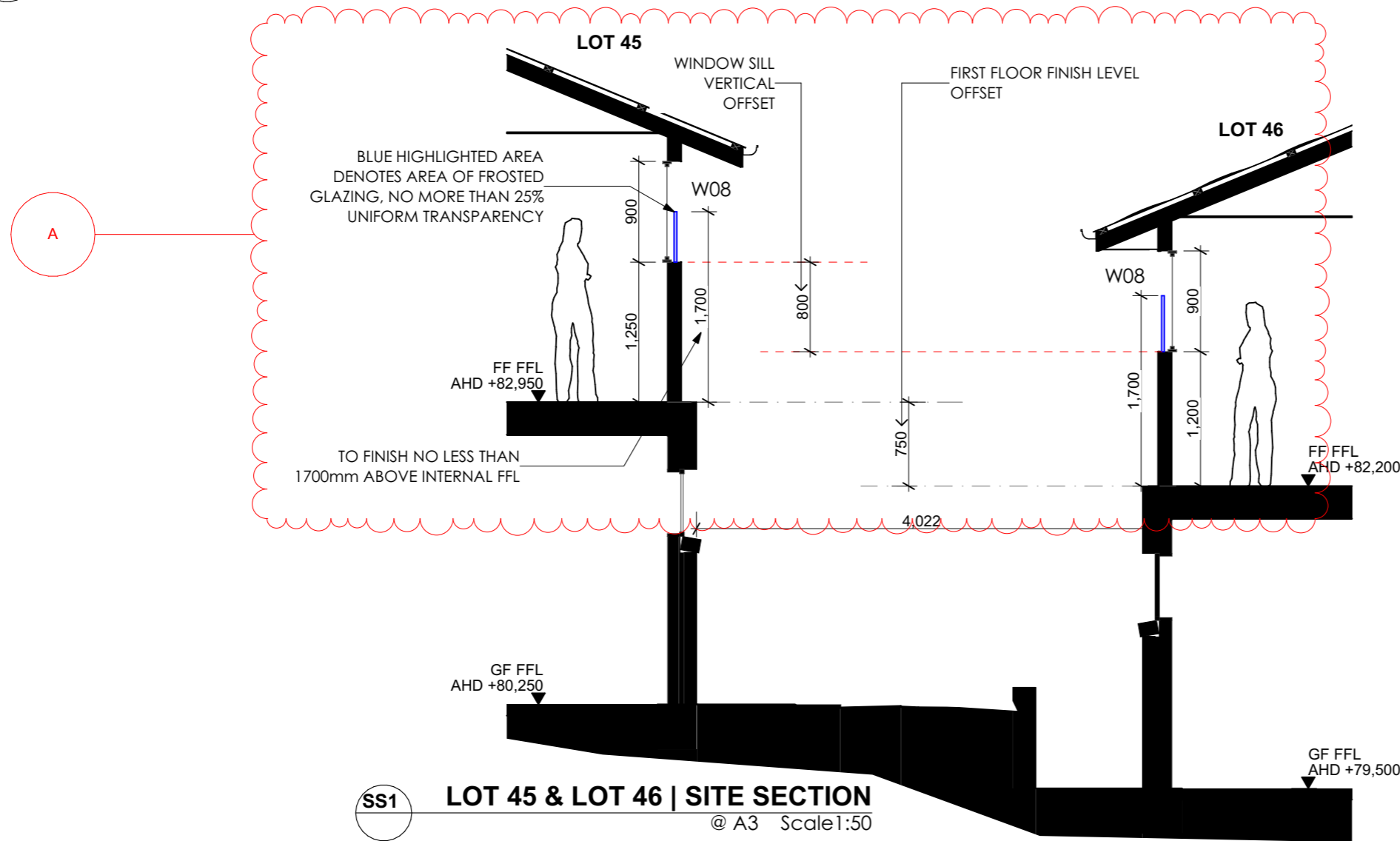
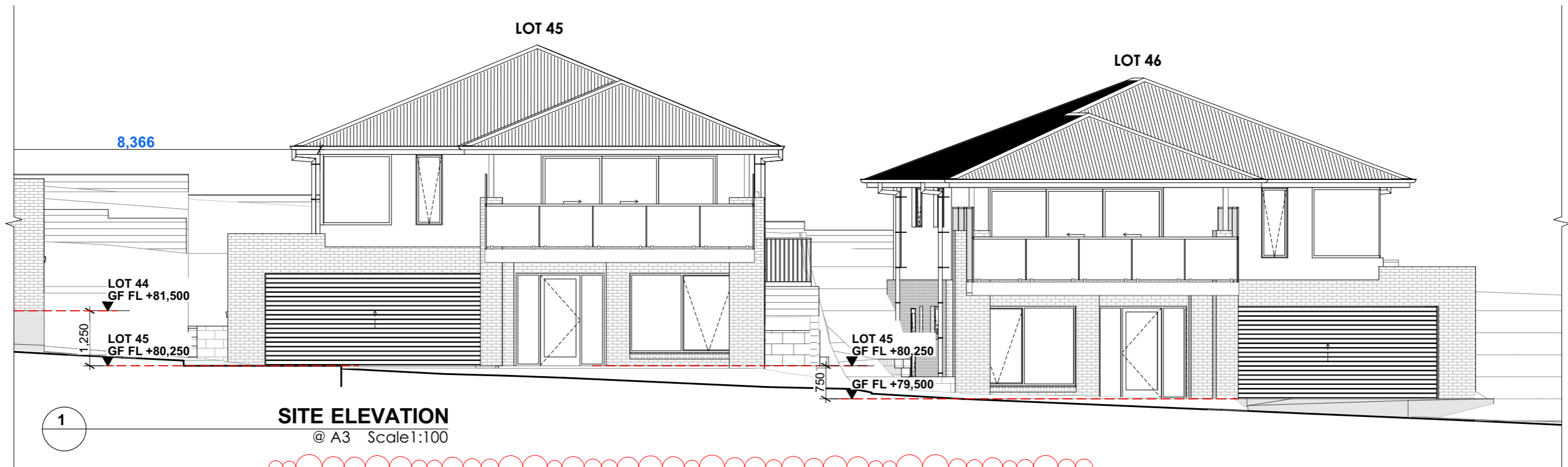
1 **SITE PLAN**
@ A3 Scale 1:200

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Rev ID	Description	Date
A	WASTE STORAGE	13/11/2024

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CLIENT	MORNING STAR HOLDINGS PTY LTD

REVISION	A	DATE	13/11/2024	SCALE	AS SHOWN @ A3
PROJECT ID	2009	CHECKED BY	A.HILL	DRAWN BY	J. LIM



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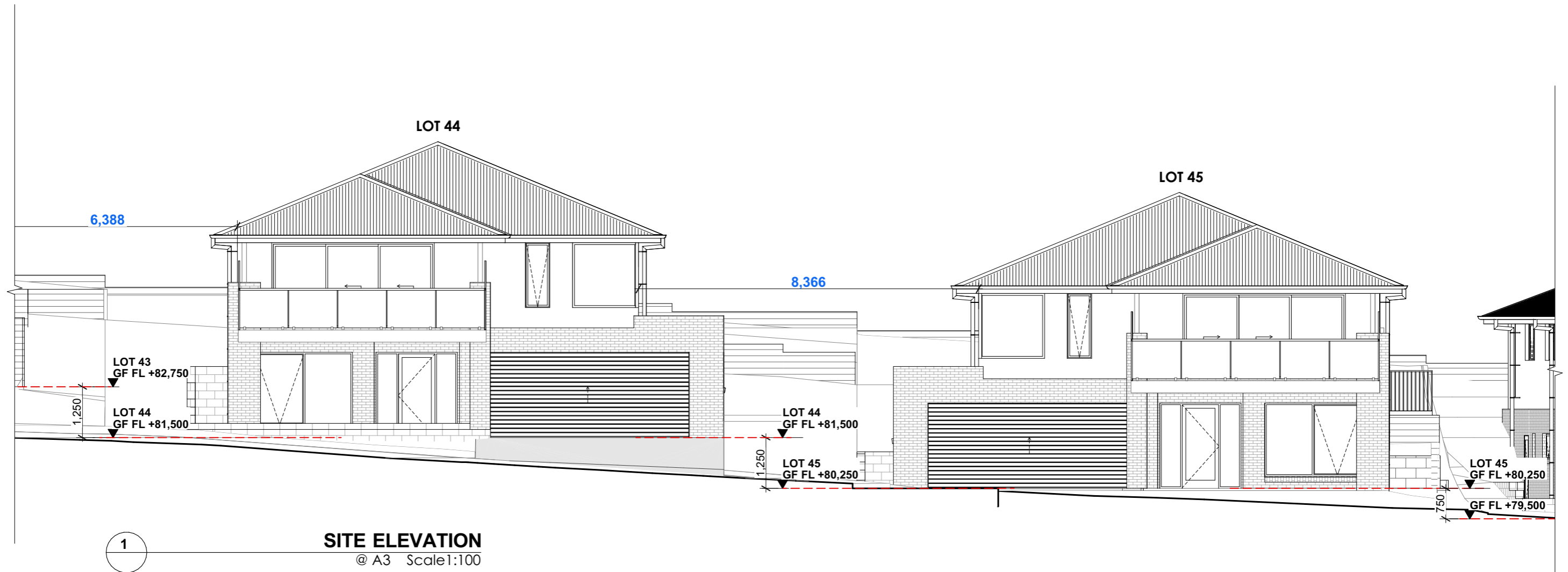
Rev ID	Description	Date
A	WINDOW PRIVACY	13/11/2024

Rev ID	Description	Date
A	WINDOW PRIVACY	13/11/2024

PROJECT	REVISION	DATE	SCALE
CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050	A	13/11/2024	AS SHOWN @ A3
MORNING STAR HOLDINGS PTY LTD	2009	A.HILL	J. LIM

CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
MORNING STAR HOLDINGS PTY LTD	2009	A.HILL	J. LIM

PAGE	NORTH
A005	
DRAWING	
SITE ELEVATION L45&L46	



SITE ELEVATION
@ A3 Scale 1:100

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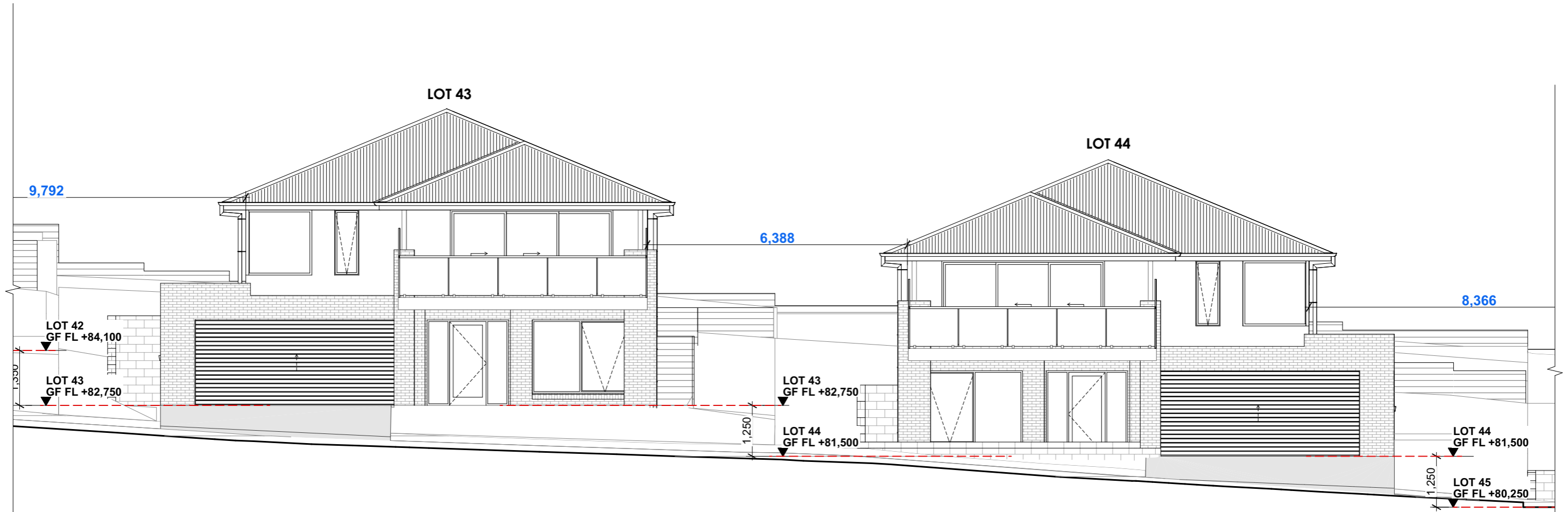
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MORNING STAR HOLDINGS PTY LTD	2009	A.HILL

SCALE	DRAWN BY
AS SHOWN @ A3	J. LIM

PAGE	NORTH
A006	
DRAWING	SITE ELEVATION L44&L45



1

SITE ELEVATION
@ A3 Scale 1:100

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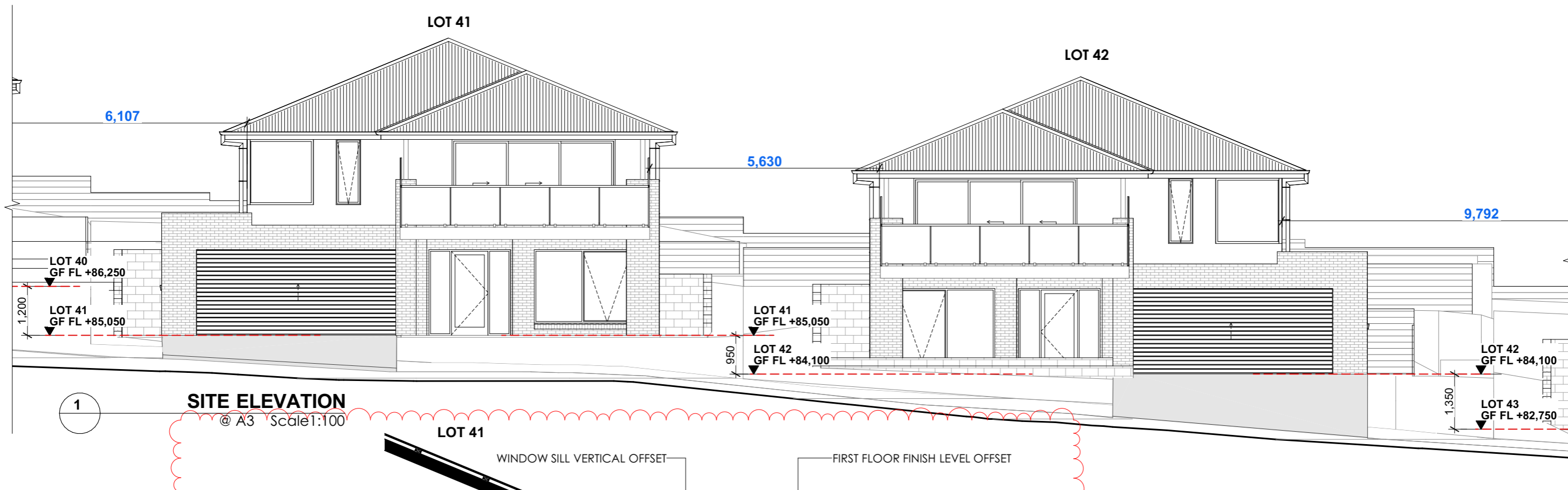
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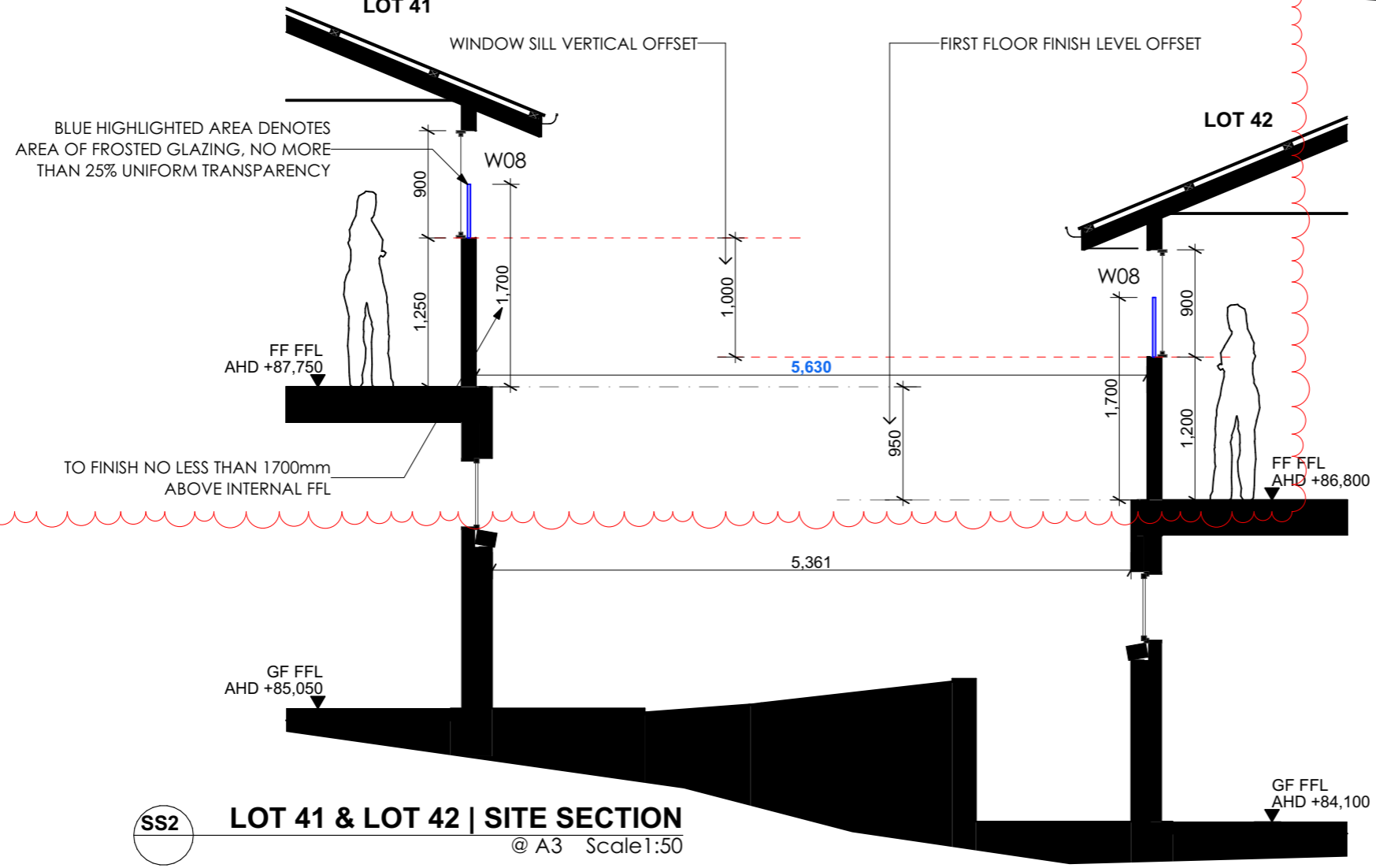
PROJECT	REVISION	DATE
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CLIENT	PROJECT ID	CHECKED BY
MORNING STAR HOLDINGS PTY LTD	2009	A.HILL

SCALE	DRAWN BY
AS SHOWN @ A3	J. LIM

PAGE	NORTH
A007	
DRAWING	SITE ELEVATION L43&L44



SITE ELEVATION
@ A3 Scale 1:100



SS2 LOT 41 & LOT 42 | SITE SECTION
@ A3 Scale 1:50

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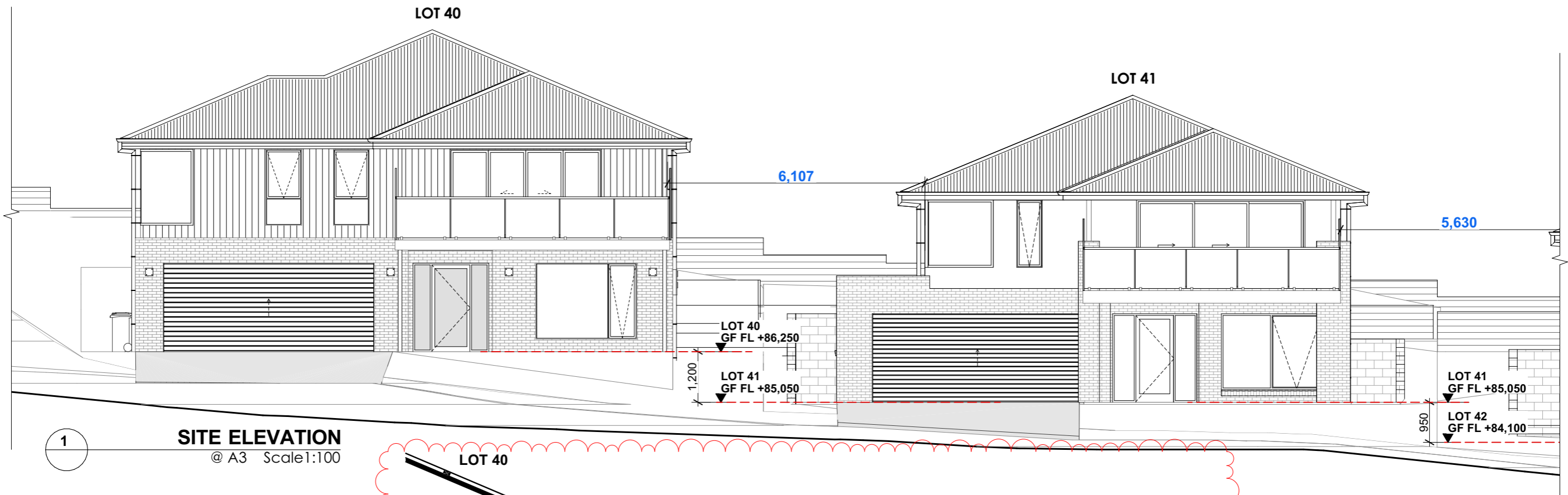
Rev ID	Description	Date
A	WINDOW PRIVACY	13/11/2024

PROJECT
CASSYTHA CLOSE
4 VILLAGE DRIVE KINGSTON TAS 7050

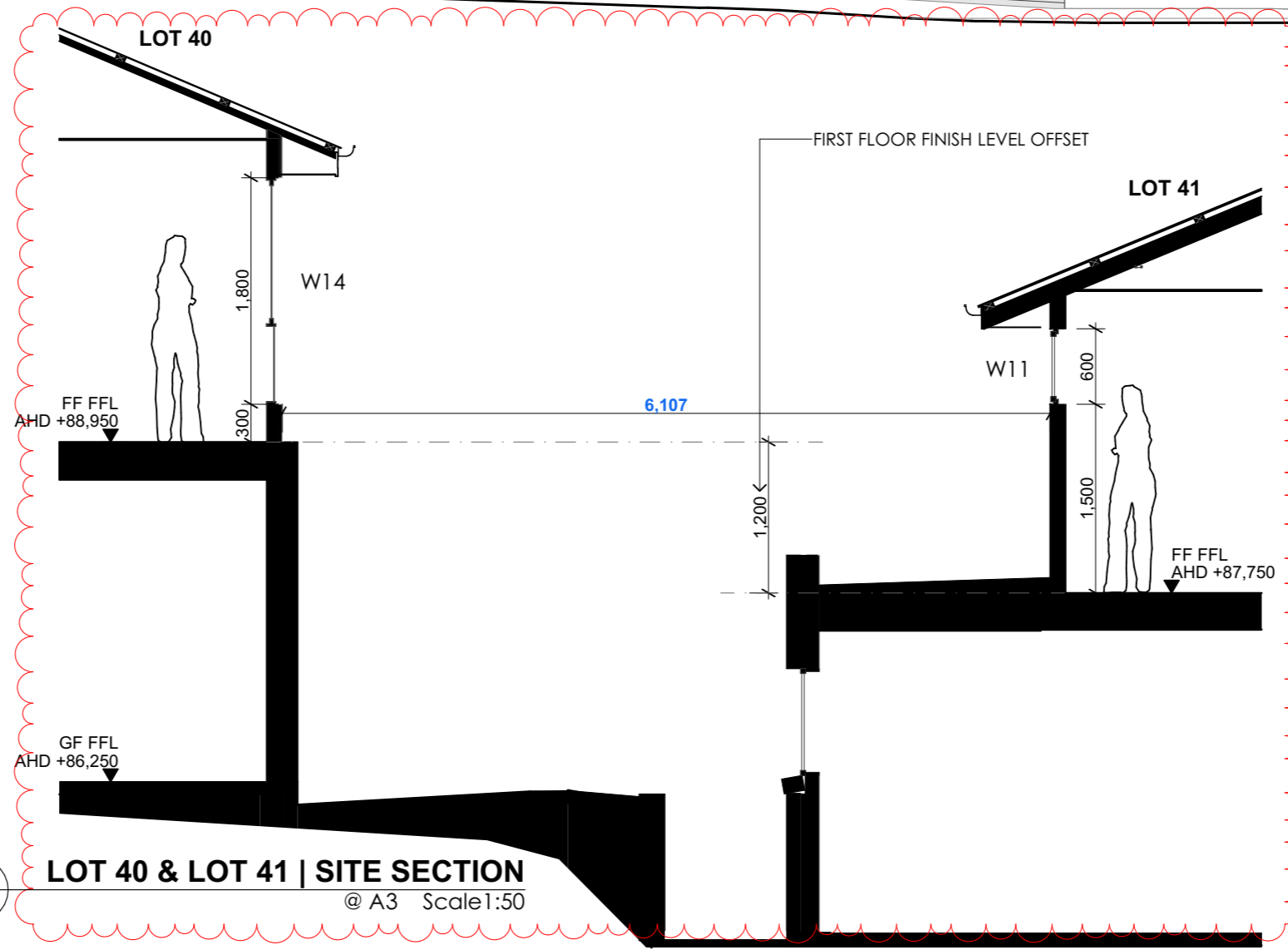
CLIENT
MORNING STAR HOLDINGS PTY LTD

REVISION	DATE	SCALE
A	13/11/2024	AS SHOWN @ A3

PROJECT ID	CHECKED BY	DRAWN BY
2009	A.HILL	J. LIM



SITE ELEVATION
@ A3 Scale 1:100



LOT 40 & LOT 41 | SITE SECTION
@ A3 Scale 1:50

NOTE:
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Kingborough Council

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PROJECT
CASSYTHA CLOSE
4 VILLAGE DRIVE KINGSTON TAS 7050

CLIENT
MORNING STAR HOLDINGS PTY LTD

REVISION	DATE
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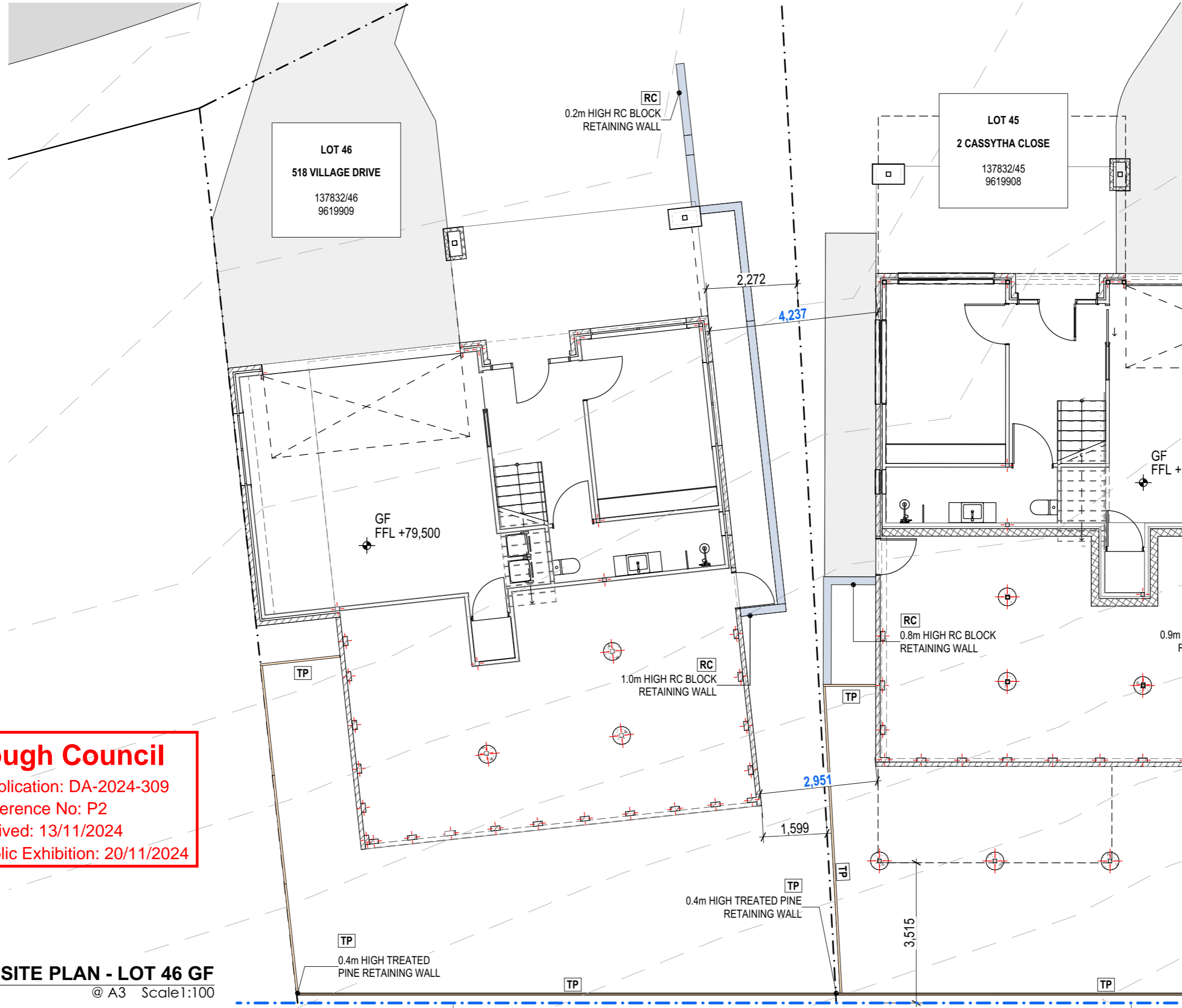
PROJECT ID	CHECKED BY
2009	A.HILL

SCALE
AS SHOWN @ A3

DRAWN BY
J. LIM

PAGE
A009

DRAWING
SITE ELEVATION | L40&L41



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LEGEND

RC REINFORCED CONCRETE BLOCK RETAINING WALLS

TP TREATED PINE RETAINING WALLS

Note: Dimension in blue denotes distance between units, measured from external wall finishes at ground floor level. Refer to **A005-A009** for more details

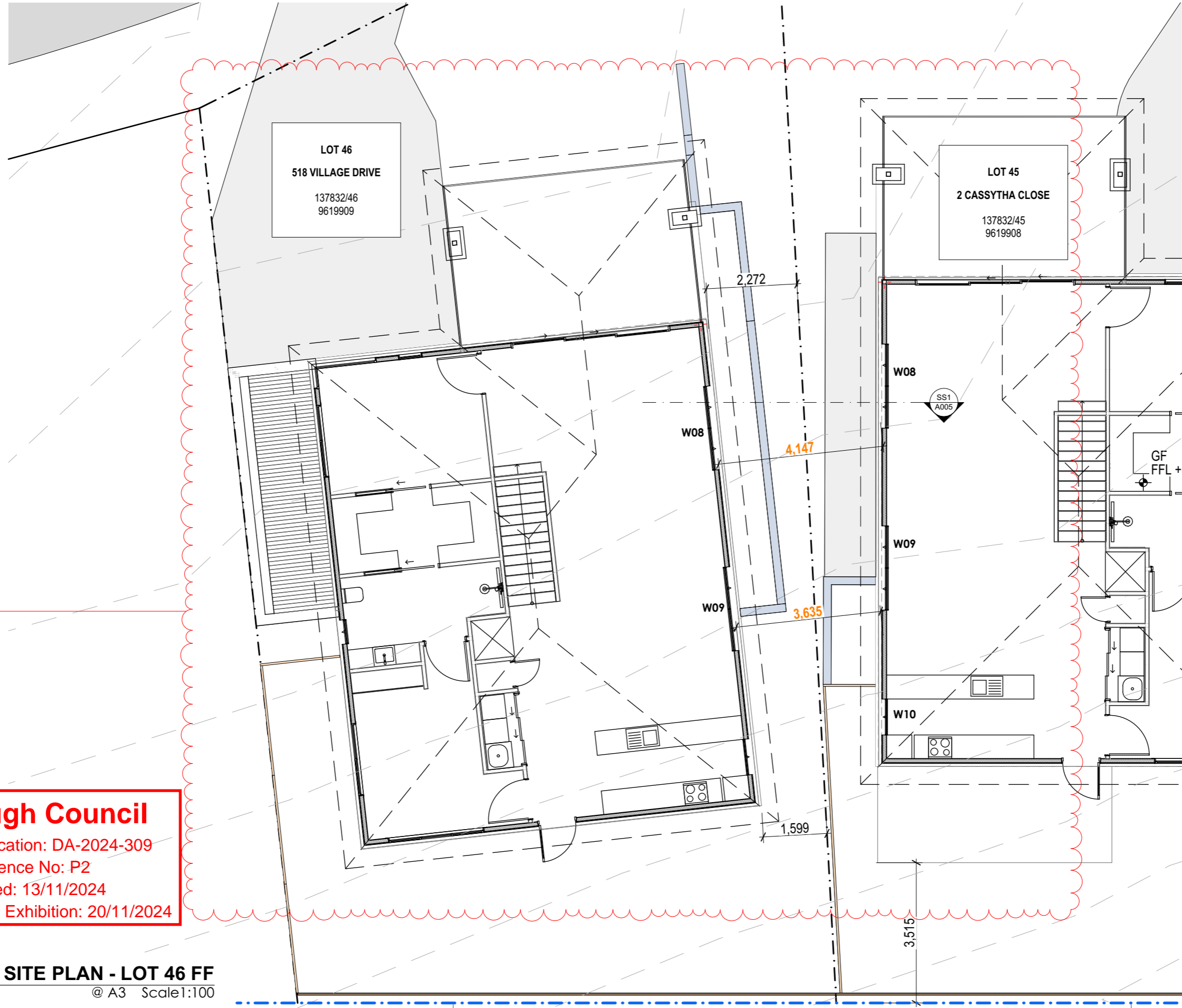
1 **SITE PLAN - LOT 46 GF**
@ A3 Scale 1:100

Rev ID	Description	Date

PROJECT	CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050
CLIENT	MORNING STAR HOLDINGS PTY LTD

REVISION	DATE	SCALE

DATE	13/11/2024
PROJECT ID	2009
CHECKED BY	A.HILL
DRAWN BY	J. LIM



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1 **SITE PLAN - LOT 46 FF**
 @ A3 Scale:1:100

LEGEND

- RC** REINFORCED CONCRETE BLOCK RETAINING WALLS
- TP** TREATED PINE RETAINING WALLS

Note: Dimension in orange denotes distance between units, measured from external wall finishes at first floor level. Refer to **A005-A009** for more details

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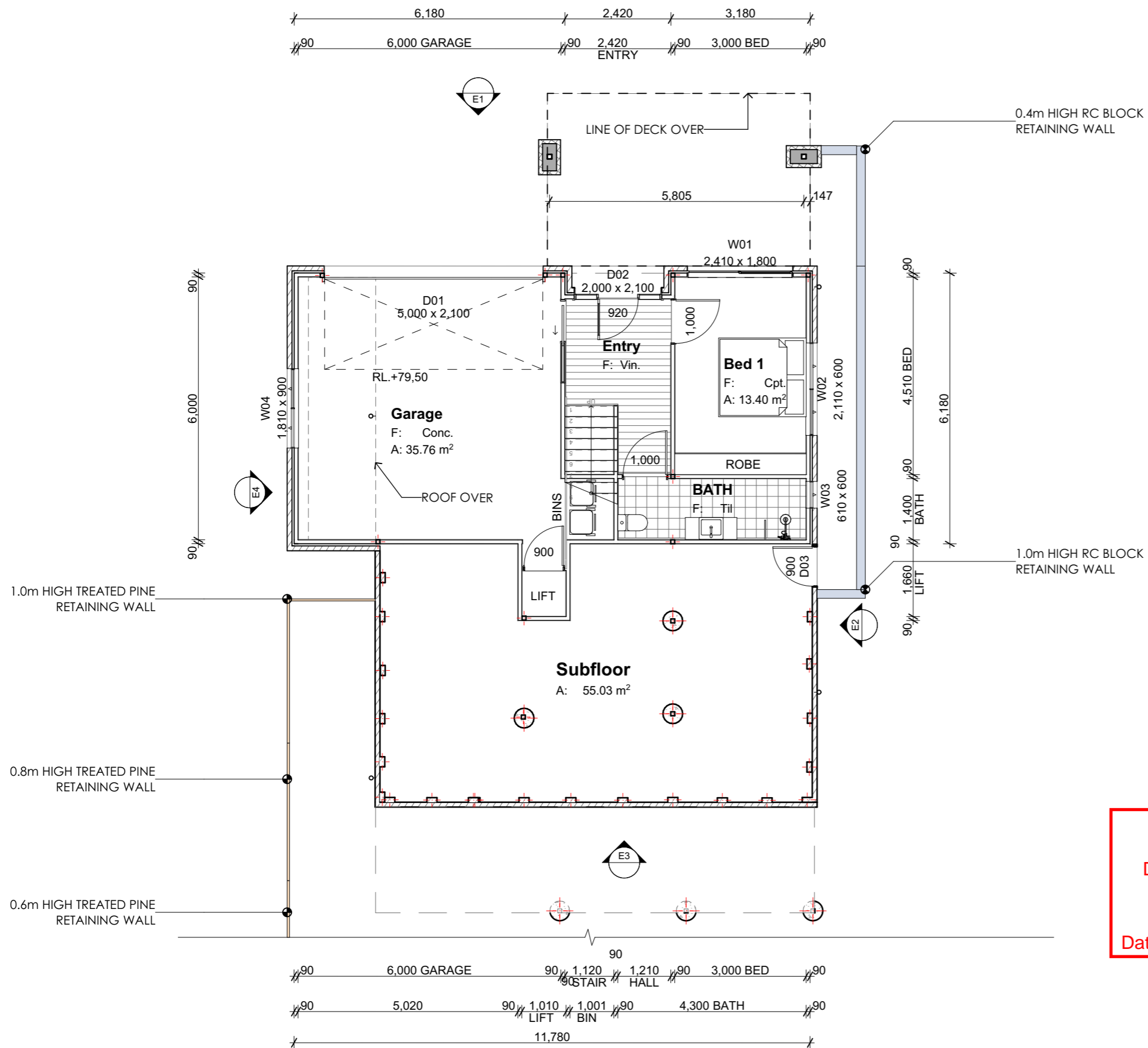
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MORNING STAR HOLDINGS PTY LTD	2009	A.HILL	J. LIM

PAGE: **L46-A102**
 LOT 46, 518 VILLAGE DRIVE
 DRAWING: **SITE PLAN & CONTEXT | FF**

NORTH



Room List	
Room Name	Measured Area
Bath	7.74
BATH	6.02
Bed 1	13.40
Bed 2	13.71
Deck	24.43
Entry	7.74
Garage	35.76
Kitchen	30.73
LANDING	1.00
L'dry	2.30
Living	31.88
Master	12.77
Subfloor	55.03
WIR	7.79
	250.30 m ²

LEGEND

	TREATED PINE RETAINING WALL
	REINFORCED CONCRETE BLOCK RETAINING WALL
nom	NOMINAL
COS	CONFIRM ON SITE

Kingborough Council
 Development Application: DA-2024-309
 Plan Reference No: P2
 Date Received: 13/11/2024
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1
Ground Floor Plan
 @ A3 Scale 1:100



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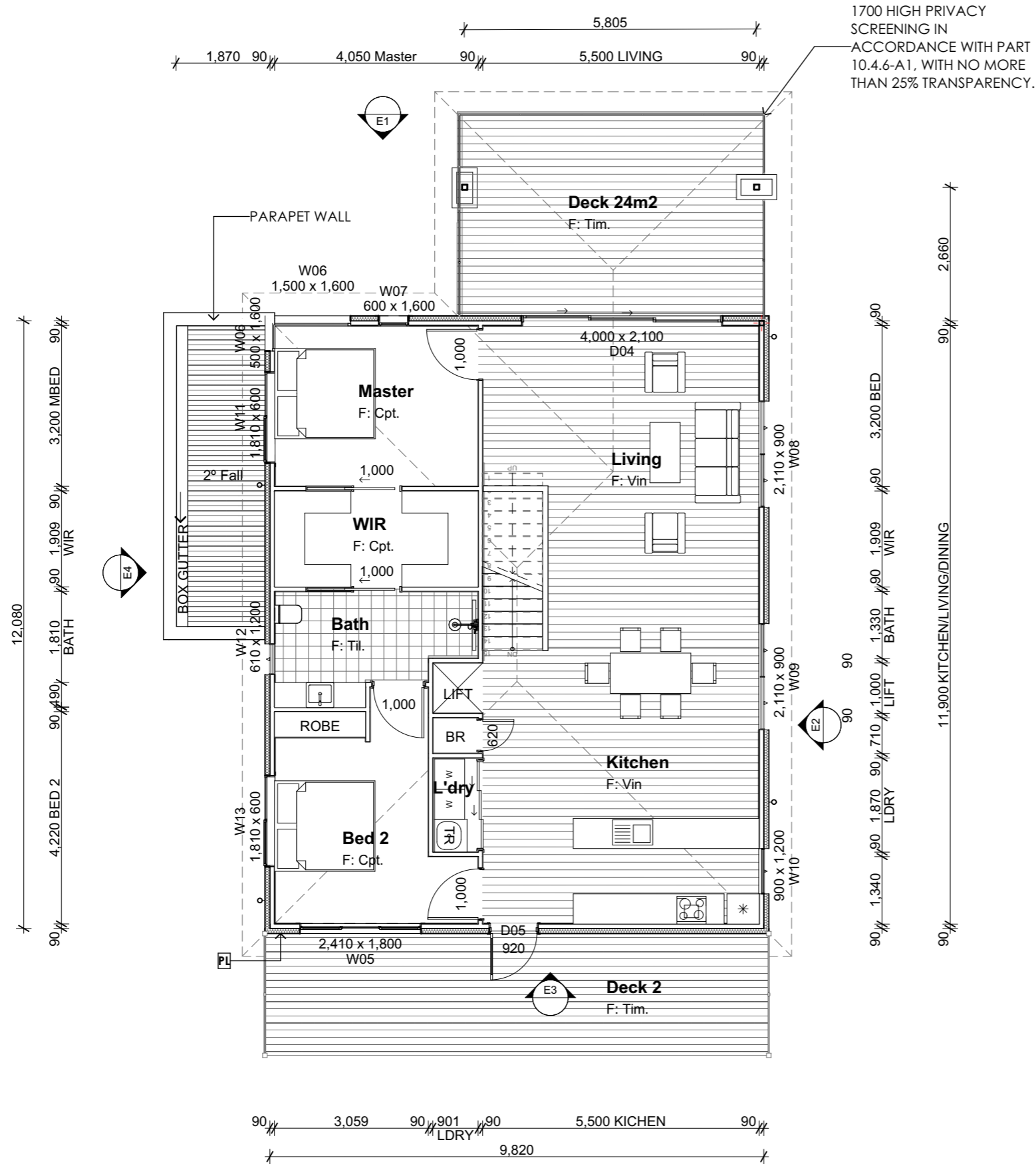
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PROJECT	REVISION	DATE	SCALE
CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050		13/11/2024	AS SHOWN @ A3
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
MORNING STAR HOLDINGS PTY LTD	2009	A.HILL	J. LIM

PAGE	NORTH
L46-A103	
LOT 46, 518 VILLAGE DRIVE	
DRAWING	
GROUND FLOOR PLAN	



Room List	
Room Name	Measured Area
Bath	7.74
BATH	6.02
Bed 1	13.40
Bed 2	13.71
Deck	24.43
Entry	7.74
Garage	35.76
Kitchen	30.73
LANDING	1.00
L'dry	2.30
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WIR	7.79
	250.30 m ²

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1

First Floor Plan
@ A3 Scale 1:100



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REVISION	DATE	SCALE
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PROJECT ID	CHECKED BY	DRAWN BY
2009	A.HILL	J. LIM

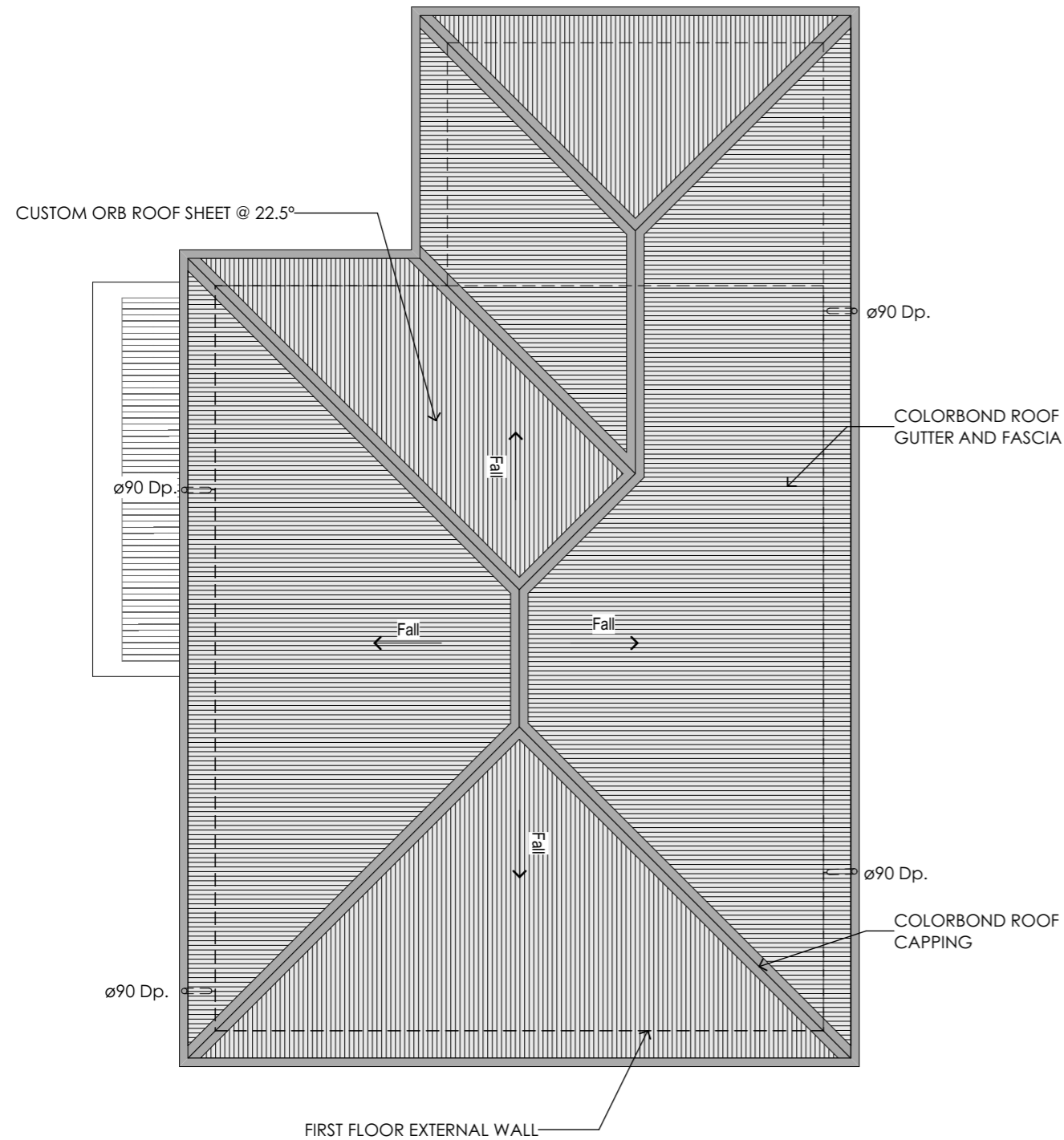
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L46-A104	N
LOT 46, 518 VILLAGE DRIVE	
DRAWING	
FIRST FLOOR PLAN	

LEGEND & NOTES

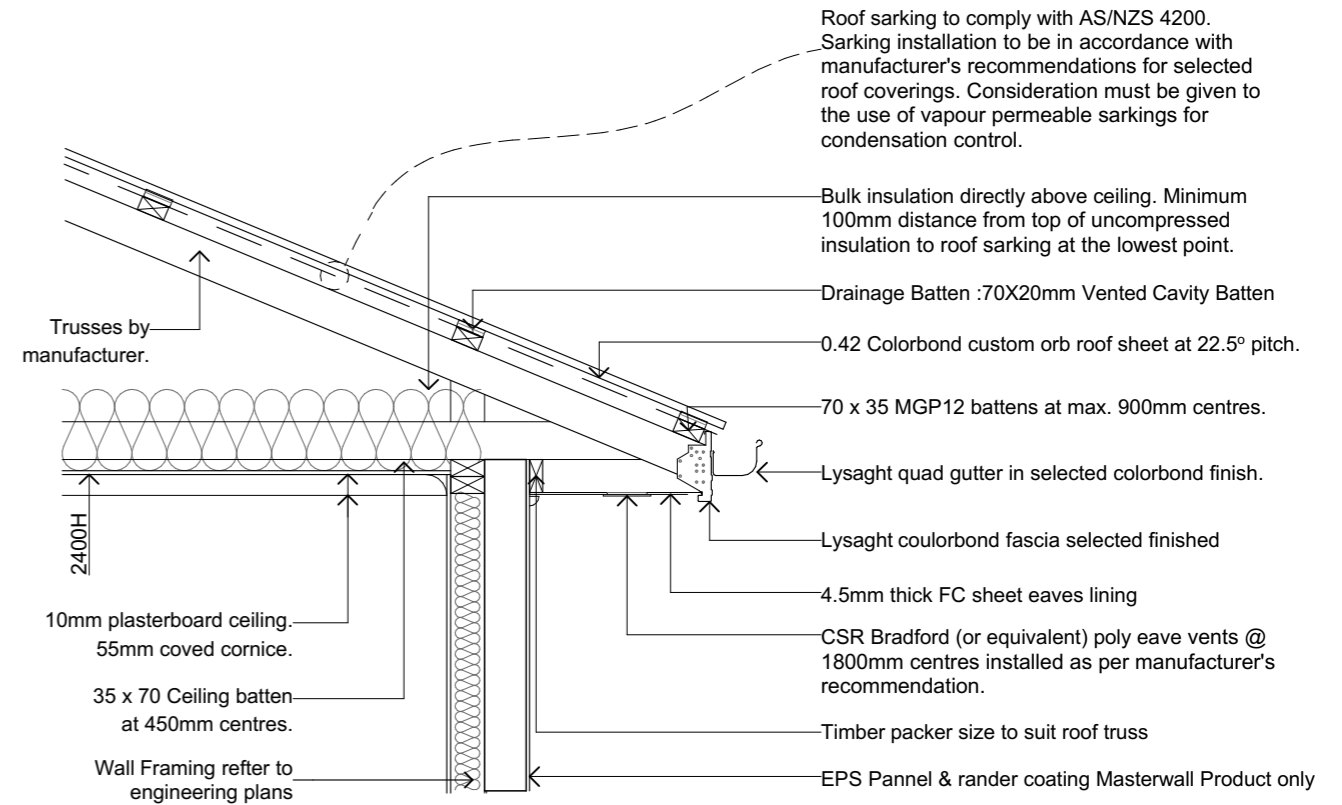
DP. Downpipe 90dia PVC downpipe

NOTES:

1. GUTTERS MUST BE INSTALLED WITH A FALL OF NOT LESS THAN 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS; AND 1:100 FOR BOX GUTTERS



Roof Plan
@ A3 Scale 1:100



ROOF CONDENSATION CONTROL DETAIL

NTS

Kingborough Council
Development Application: DA-2024-309
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AS3500.3 - STORMWATER DRAINAGE		
Rc	Roof Catchment Area	195.81m ²
	Roof Pitch	22.5 deg Rc x 1.21 slope factor = 236.93m ² (TABLE 3.2)
	Design Rainfall (100yr 5 min Duration)	116L/s (NCC Vol 2 Part 3.5.2.5)
	Downpipe Crossover	90dia - 6400 - (TABLE 3.3)
C	Max Catchment Area per Downpipe	64m ² (FIG 3.5 (A))
	Number Downpipes Required	Rp / C = 3.70
	Number Downpipes Provided	4 (rounded up)

GENERAL NOTES

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PROJECT
CASSYTHA CLOSE
4 VILLAGE DRIVE KINGSTON TAS 7050

REVISION
DATE
13/11/2024

SCALE
AS SHOWN @ A3

PAGE
NORTH

CLIENT
MORNING STAR HOLDINGS PTY LTD

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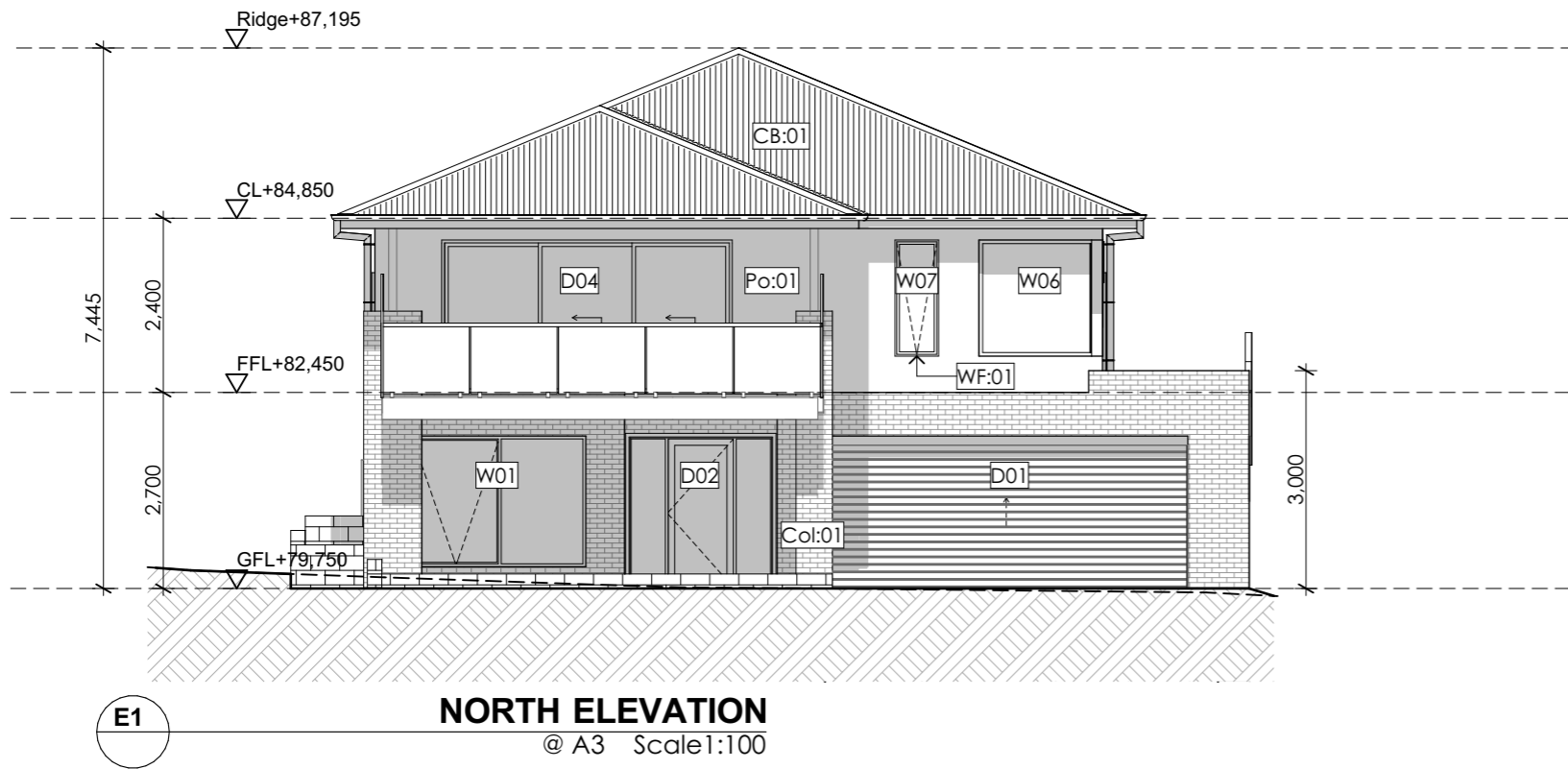
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J. LIM

L46-A105
LOT 46, 518 VILLAGE DRIVE




DRAWING
ROOF PLAN

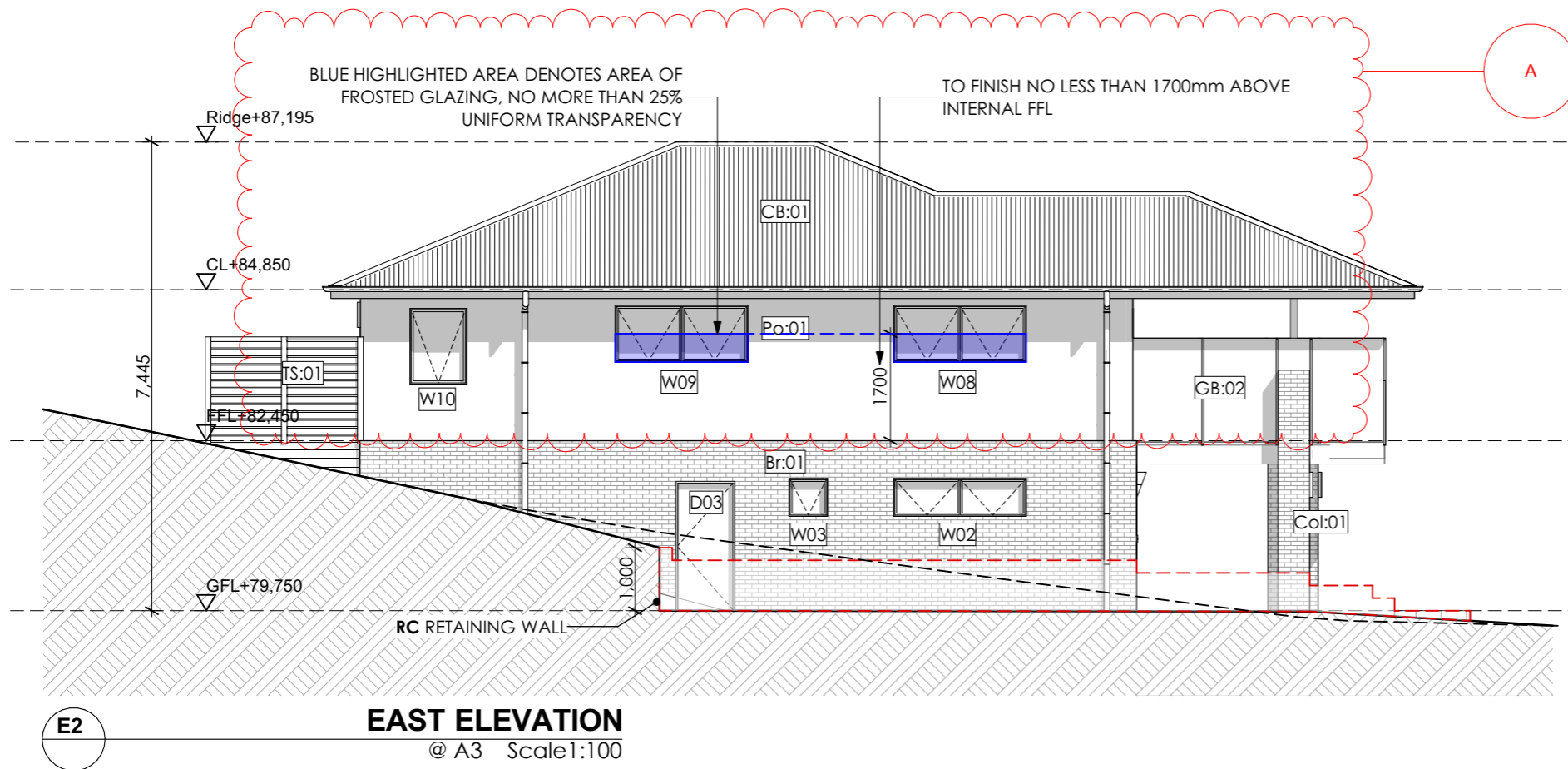




NORTH ELEVATION
@ A3 Scale 1:100

LEGEND & NOTES

- DP: Downpipe
- FL: Floor level
- CL: Ceiling level
- Br:01 Face brickwork
- CB:01 Colorbond roof
- GB:01 Glass balustrade, min. 1,000mm high to comply with AS1288. 40dia. S/S handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1
- GB:02 Glass privacy screen min. 1,700mm high to comply with AS1288. 40dia. S/S handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1 No more than 25% transparency
- WF:01 Powdercoated aluminium window / door frames Colour: Basalt.
- TD:01 Timber framed deck
- CS:01 Easylap cement sheet
- Conc:01 Concrete driveway
- RW:01 190 series concrete block retaining wall
- Col:01 rendered 100 series block column
- TS:01 Timber screen
- FC:01 Fibre cement sheet cladding Render finish
- CJ Vertical articulation joints as shown or not more than 5m
-  **FE** 1m high timber screen
-  **TP** Treated pine retaining wall
-  **RC** Reinforced concrete block retaining wall
- - - NGL
- FGL



EAST ELEVATION
@ A3 Scale 1:100

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Plan Reference No: P2
Date Received: 13/11/2024
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

Rev ID	Description	Date
A	WINDOW PRIVACY	13/11/2024

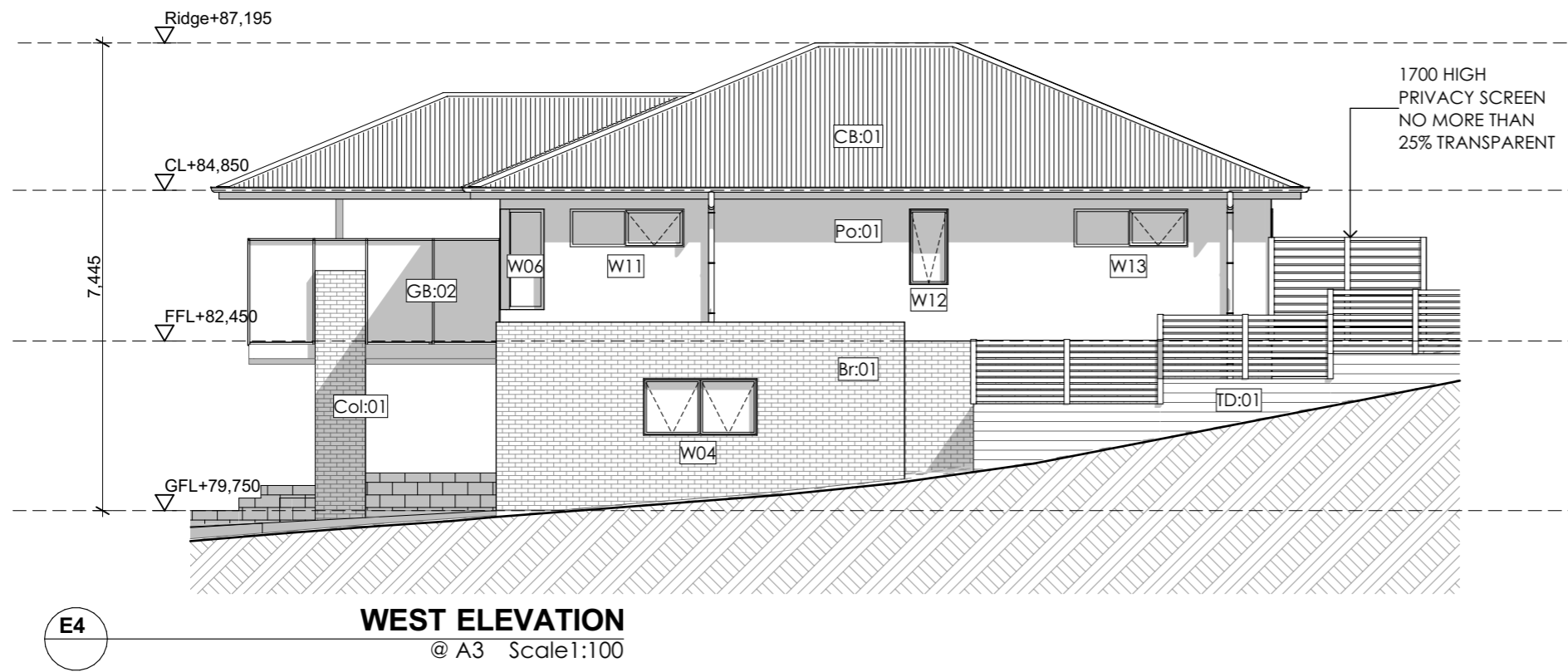
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CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050	A	13/11/2024	AS SHOWN @ A3
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PAGE	NORTH
L46-A106	
LOT 46, 518 VILLAGE DRIVE	
DRAWING	
ELEVATION 01	



LEGEND & NOTES

- DP: Downpipe
- FL: Floor level
- CL: Ceiling level
- Br:01 Face brickwork
- CB:01 Colorbond roof
- GB:01 Glass balustrade, min. 1,000mm high to comply with AS1288. 40dia. S/S handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1
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- CJ Vertical articulation joints as shown or not more than 5m
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-  **TP** Treated pine retaining wall
-  **RC** Reinforced concrete block retaining wall
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- FGL



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PROJECT CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050	REVISION	DATE 13/11/2024	SCALE AS SHOWN @ A3
CLIENT MORNING STAR HOLDINGS PTY LTD	PROJECT ID 2009	CHECKED BY A.HILL	DRAWN BY J. LIM

PAGE L46-A107 LOT 46, 518 VILLAGE DRIVE	NORTH
DRAWING ELEVATION 02	

Window Types

ID	W01	W02	W03	W04	W05	W06	W06	W07	W08	W09	W10	W11	W12
W x H Size	2,410×1,800	2,110×600	610×600	1,810×900	2,410×1,800	500×1,600	1,500×1,600	600×1,600	2,110×900	2,110×900	900×1,200	1,810×600	610×1,200
Sill Height	300	1,500	1,500	1,200	300	500	500	500	1,250	1,250	900	1,500	900
Opening Type	Awing	Awing	Awing	Awing	Awing	Fixed conner	Fixed conner	Fixed conner	Awing	Awing	Awing	Awing	Awing
Notes	Powdercoated Aluminium Frame.Double glazing	Powdercoated Aluminium Frame.Double glazing	Powdercoated Aluminium Frame.Double glazing	Powdercoated Aluminium Frame.Double glazing	Powdercoated Aluminium Frame.Double glazing	Powdercoated Aluminium Frame.Double glazing	Powdercoated Aluminium Frame.Double glazing	Powdercoated Aluminium Frame.Double glazing	Powdercoated Aluminium Frame.Double glazing	Powdercoated Aluminium Frame.Double glazing	<Undefined>	Powdercoated Aluminium Frame.Double glazing	Powdercoated Aluminium Frame.Double glazing

Window Types

ID	W13
W x H Size	1,810×600
Sill Height	1,500
Opening Type	Awing
Notes	Powdercoated Aluminium Frame.Double glazing

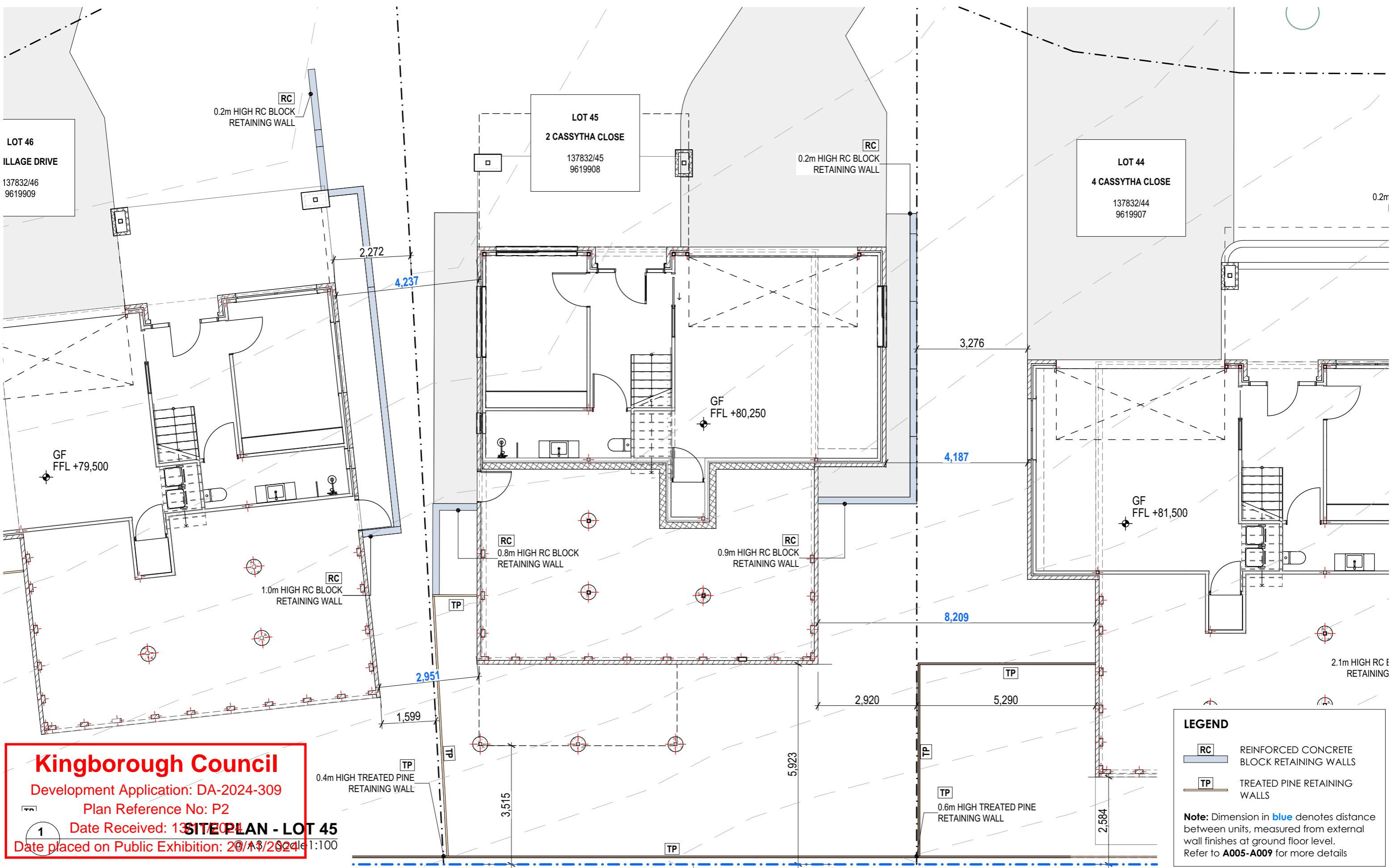
Door Types

ID	D01	D02	D03	D04	D05
W x H Size	5,000×2,100	2,000×2,100	900×2,040	4,000×2,100	920×2,040
Opening Type Code	Top sliding	Swing	Swing	Sliding	Swing
Notes	Colorbond door leaf	Double glazing	Solid leaf paint finish	Double glazing	Double glazing

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PROJECT	REVISION	DATE	SCALE
CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050		13/11/2024	AS SHOWN @ A3
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 Plan Reference No: P2
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SITE PLAN - LOT 45

LEGEND

- RC** REINFORCED CONCRETE BLOCK RETAINING WALLS
- TP** TREATED PINE RETAINING WALLS

Note: Dimension in blue denotes distance between units, measured from external wall finishes at ground floor level. Refer to **A005-A009** for more details

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CLIENT	MORNING STAR HOLDINGS PTY LTD

REVISION	DATE	SCALE
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2009	A.HILL	J. LIM

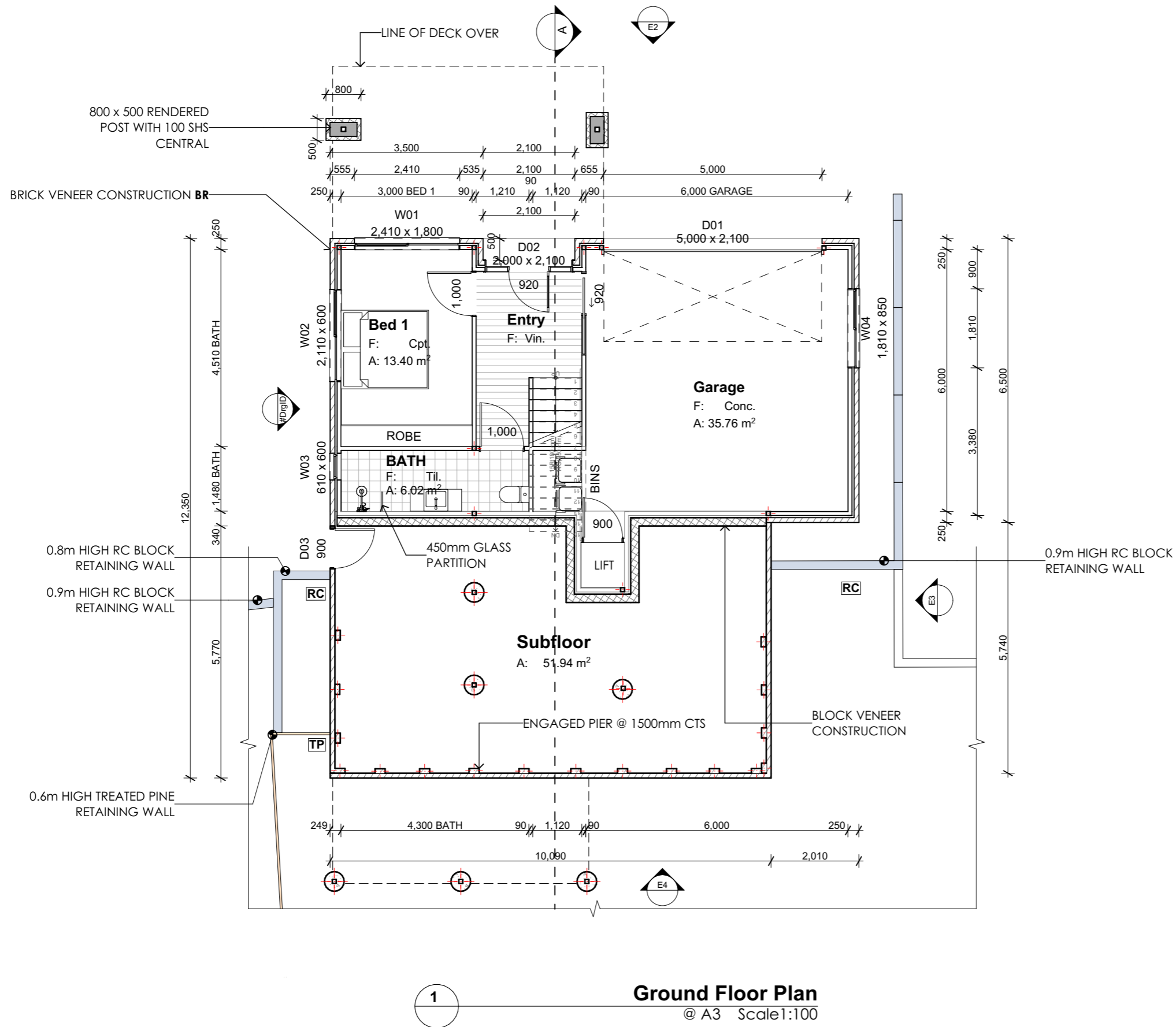
PAGE

L45-A101
 LOT 45, 2 CASSYTHA CLOSE

DRAWING

SITE PLAN & CONTEXT

NORTH



Room List	
Room Name	Measured Area
Bath	7.74
BATH	6.02
Bed 1	13.40
Bed 2	13.71
Deck (POS)	24.49
Entry	7.74
Garage	35.76
Kitchen	30.73
LANDING	1.77
L'dry	2.30
Living	31.88
Master	12.77
Subfloor	55.03
WIR	7.79
	251.13 m ²

LEGEND	
	TREATED PINE RETAINING WALL
	REINFORCED CONCRETE BLOCK RETAINING WALL
	TIMBER FENCE
nom	NOMINAL
COS	CONFIRM ON SITE

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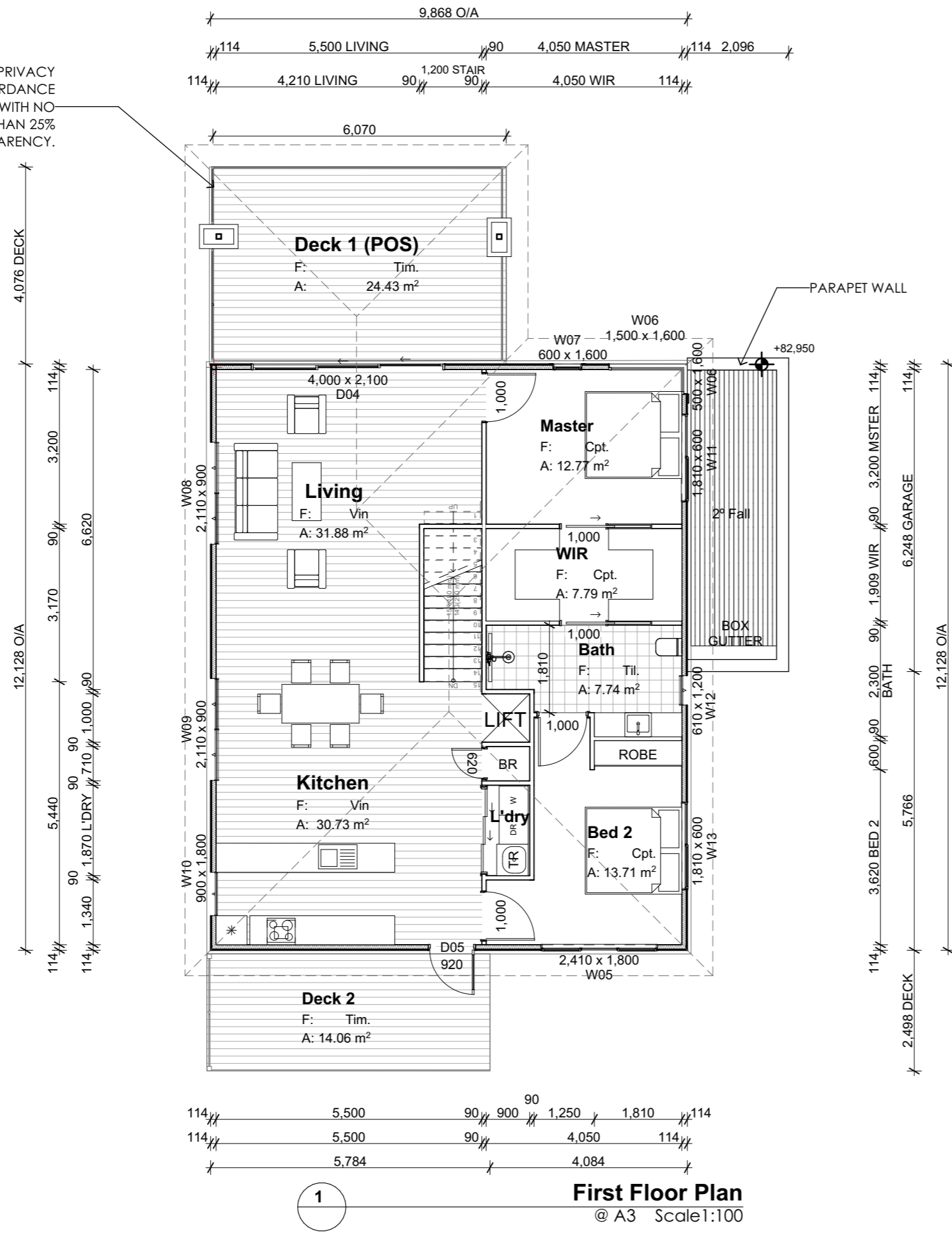
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Ground Floor Plan
 @ A3 Scale 1:100

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PROJECT	REVISION	DATE	SCALE
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REVISION	DATE	SCALE

1700 HIGH PRIVACY SCREENING IN ACCORDANCE WITH PART 10.4.6-A1, WITH NO MORE THAN 25% TRANSPARENCY.



Room List	
Room Name	Measured Area
Bath	7.74
BATH	6.02
Bed 1	13.40
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Deck (POS)	24.49
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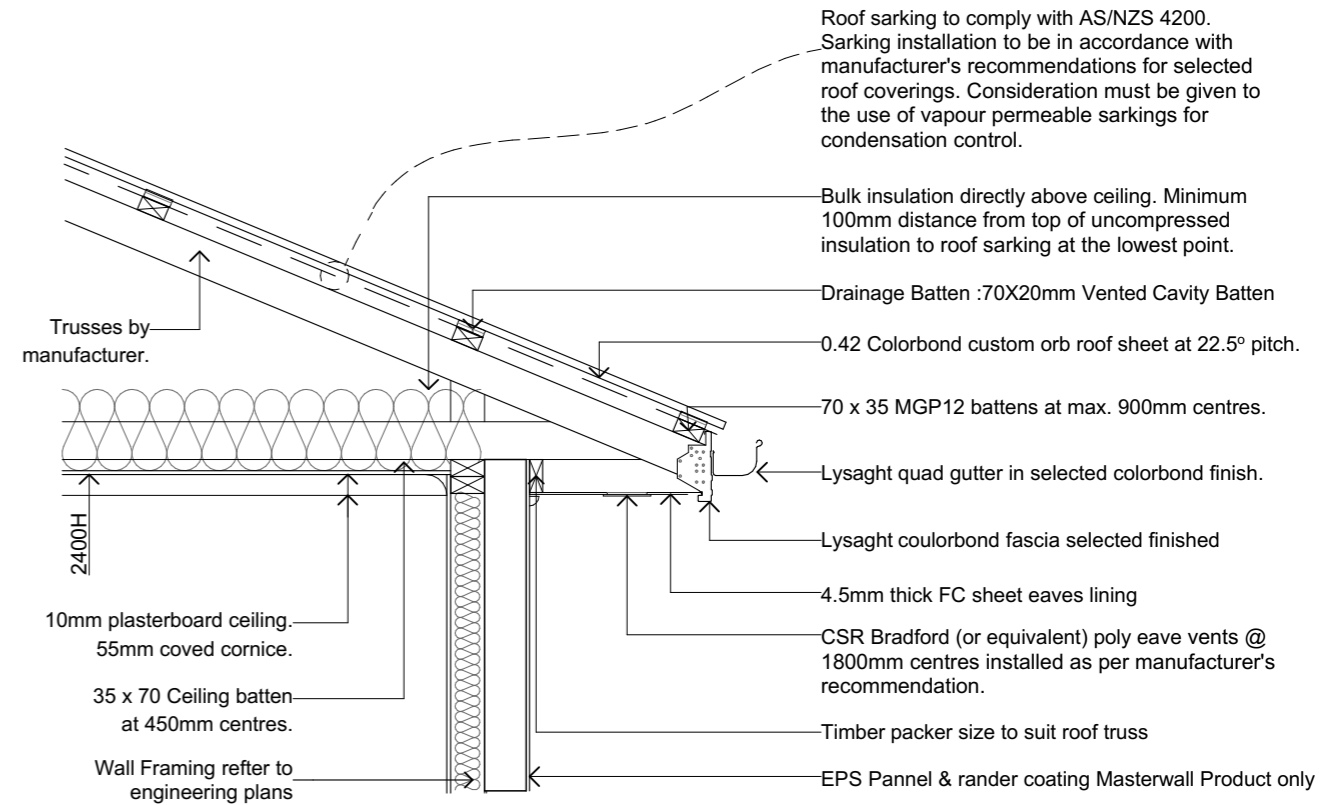
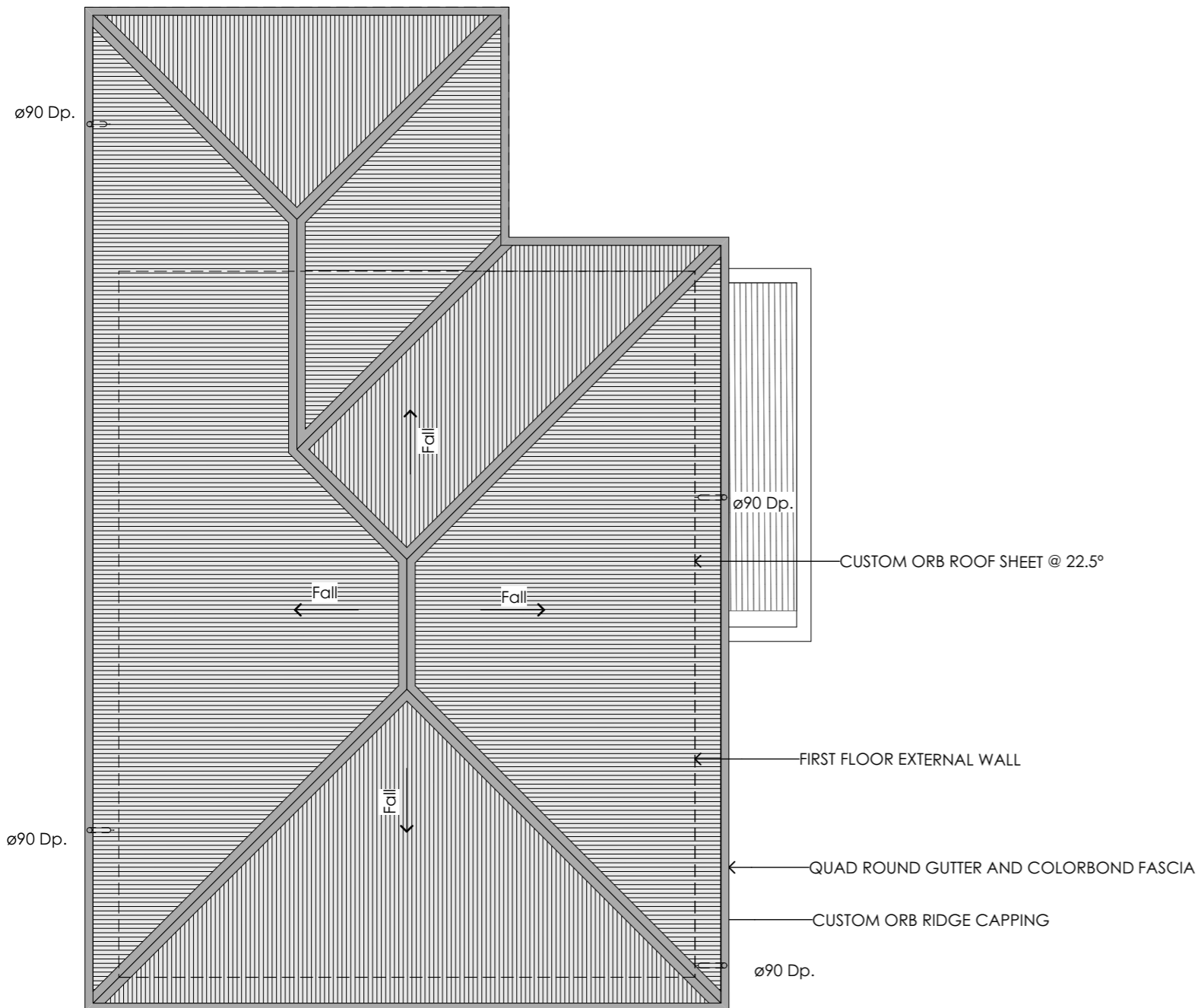
1
First Floor Plan
 @ A3 Scale 1:100

LEGEND & NOTES

DP. Downpipe 90dia PVC downpipe

NOTES:

1. GUTTERS MUST BE INSTALLED WITH A FALL OF NOT LESS THAN 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS; AND 1:100 FOR BOX GUTTERS



ROOF CONDENSATION CONTROL DETAIL

NTS

Kingborough Council

Development Application: DA-2024-309

Plan Reference No: P2

Date Received: 13/11/2024

Date placed on Public Exhibition: 20/11/2024

AS3500.3 - STORMWATER DRAINAGE

Rc	Roof Catchment Area	195.81m ²
	Roof Pitch	22.5 deg Rc x 1.21 slope factor = 236.93m ² (TABLE 3.2)
	Design Rainfall (100yr 5 min Duration)	116L/s (NCC Vol 2 Part 3.5.2.5)
	Downpipe Crossover	90dia - 6400 - (TABLE 3.3)
C	Max Catchment Area per Downpipe	64m ² (FIG 3.5 (A))
	Number Downpipes Required	Rp / C = 3.70
	Number Downpipes Provided	4 (rounded up)

1

Roof Plan
@ A3 Scale 1:100

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PROJECT
CASSYTHA CLOSE
4 VILLAGE DRIVE KINGSTON TAS 7050

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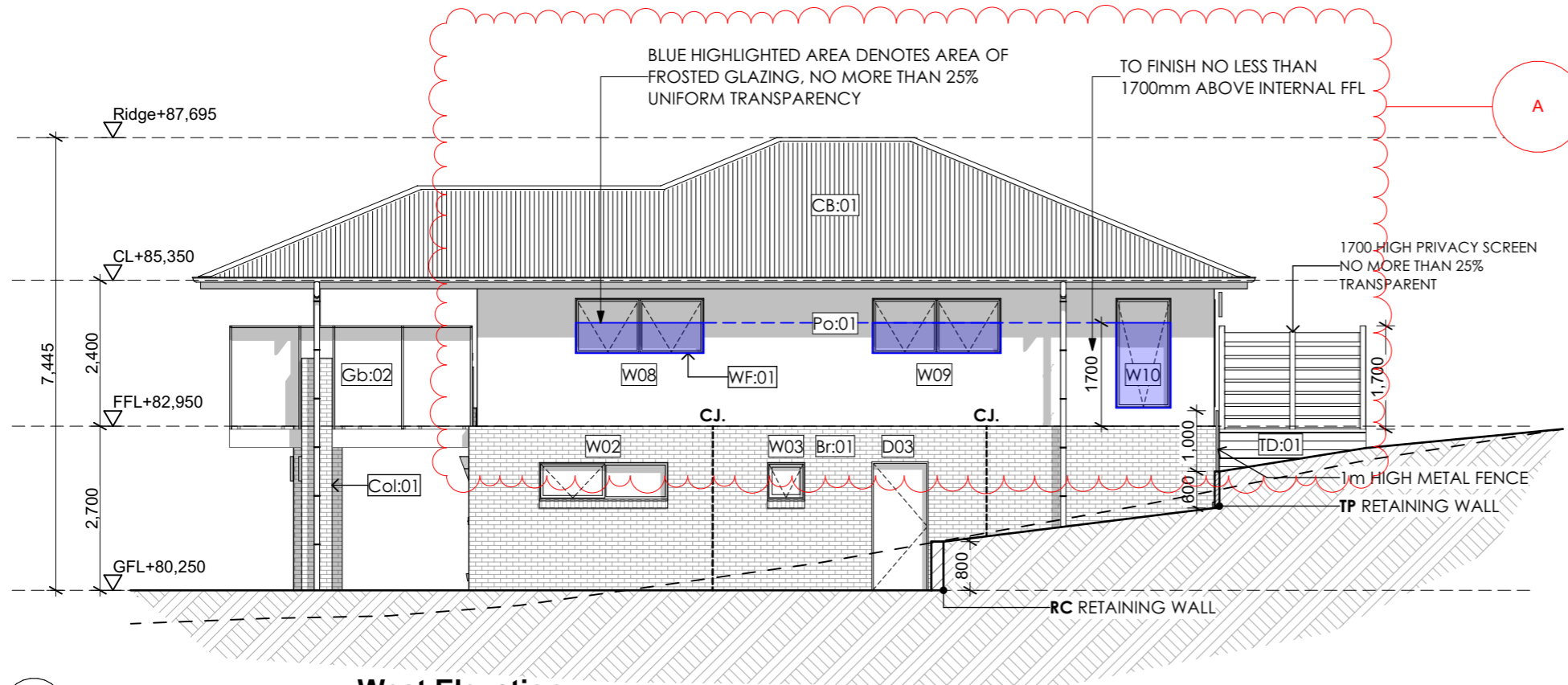
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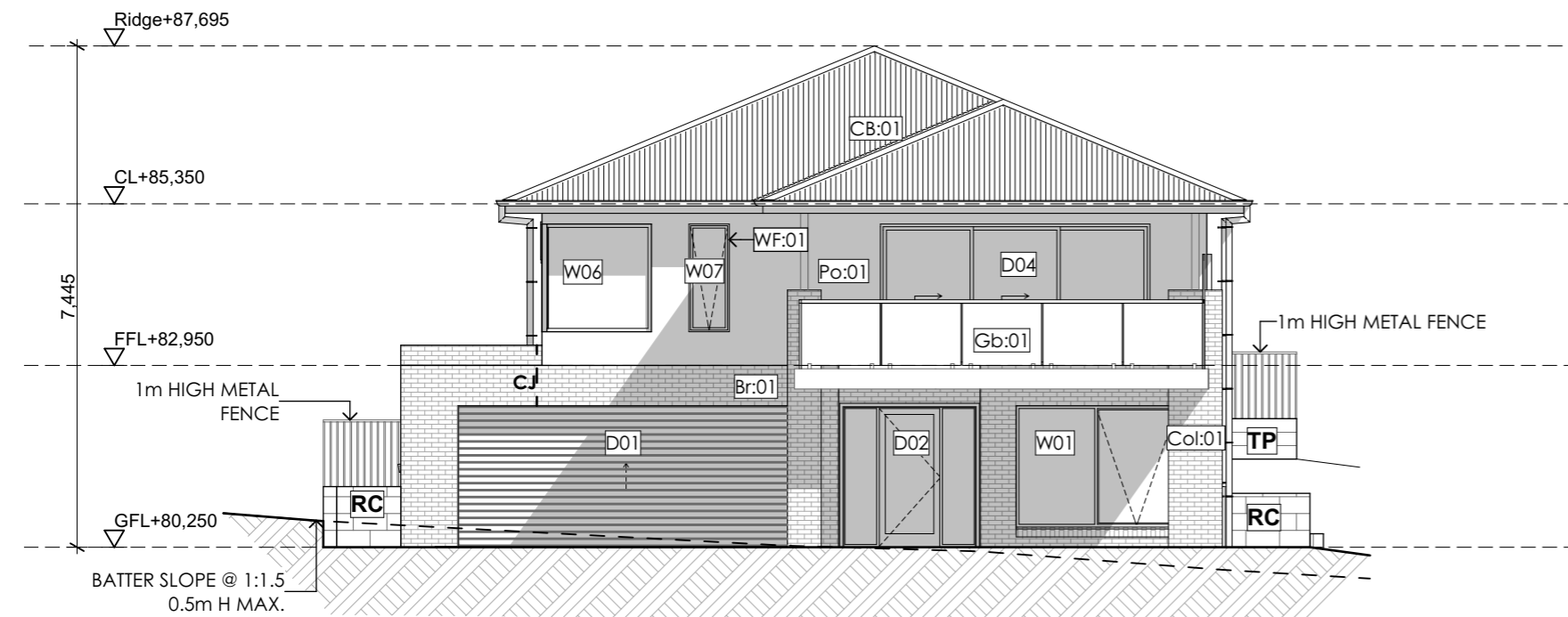
SCALE
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J. LIM

PAGE	NORTH
L45-A104	
LOT 45, 2 CASSYTHA CLOSE	
DRAWING	
ROOF PLAN	



E1
West Elevation
 @ A3 Scale 1:100



E2
North Elevation
 @ A3 Scale 1:100

LEGEND & NOTES

- DP. Downpipe
- FL. Floor level
- CL. Ceiling level
- Br:01 Face brickwork
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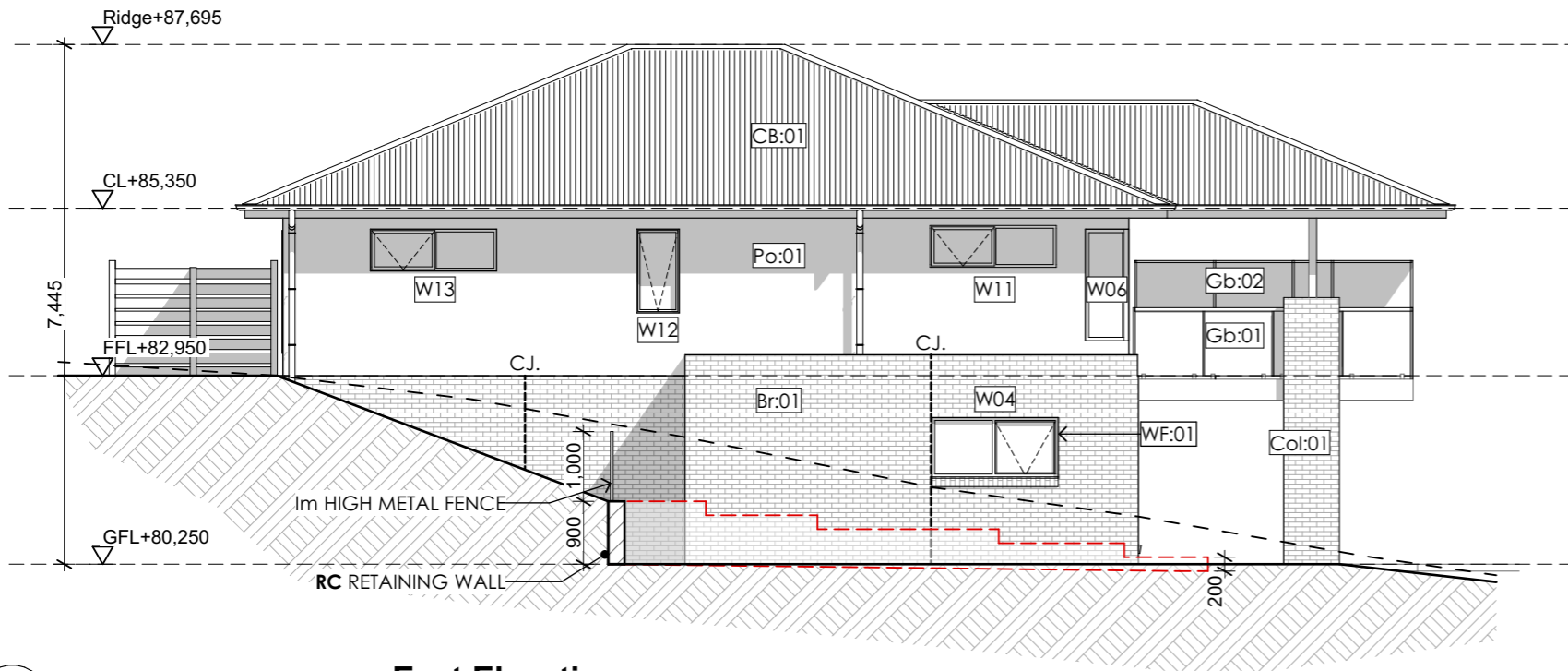
Rev ID	Description	Date
A	WINDOW PRIVACY	13/11/2024

PROJECT	CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050
CLIENT	MORNING STAR HOLDINGS PTY LTD

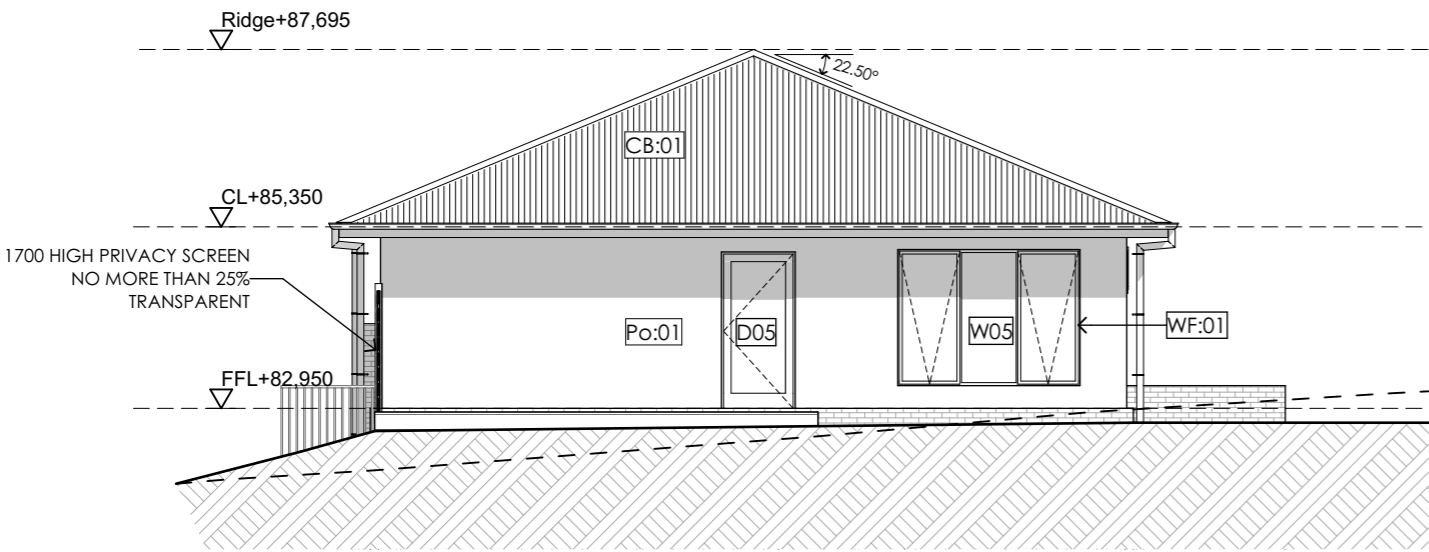
REVISION	DATE	SCALE
A	13/11/2024	AS SHOWN @ A3

CHECKED BY	A.HILL
DRAWN BY	J. LIM

PAGE	NORTH
L45-A105	
LOT 45, 2 CASSYTHA CLOSE	
DRAWING	ELEVATION 01



E3 East Elevation
@ A3 Scale 1:100



E4 South Elevation
@ A3 Scale 1:100

LEGEND & NOTES

- DP: Downpipe
- FL: Floor level
- CL: Ceiling level
- Br:01 Face brickwork
- CB:01 Colorbond roof
- GB:01 Glass balustrade, min. 1,000mm high to comply with AS1288. 40dia. S/S handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1
- GB:02 Glass privacy screen min. 1,700mm high to comply with AS1288. 40dia. S/S handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1 No more than 25% transparency
- WF:01 Powdercoated aluminium window / door frames Colour: Basalt.
- TD:01 Timber framed deck
- CS:01 Easylap cement sheet
- Conc:01 Concrete driveway
- RW:01 190 series concrete block retaining wall
- Col:01 rendered 100 series block column
- TS:01 Timber screen
- FC:01 Fibre cement sheet cladding Render finish
- CJ Vertical articulation joints as shown or not more than 5m

- FE 1m high timber screen
- TP Treated pine retaining wall
- RC Reinforced concrete block retaining wall
- - - NGL
- FGL

Kingborough Council

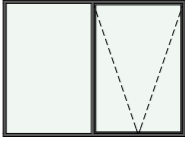



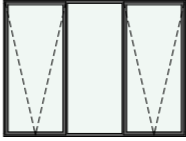





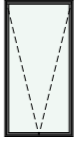

Development Application: DA-2024-309
Plan Reference No: P2
Date Received: 13/11/2024
Date placed on Public Exhibition: 20/11/2024

Rev ID	Description	Date



PROJECT	REVISION	DATE	SCALE
CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050		13/11/2024	AS SHOWN @ A3
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
MORNING STAR HOLDINGS PTY LTD	2009	A.HILL	J. LIM

PAGE	NORTH
L45-A106	
LOT 45, 2 CASSYTHA CLOSE	
DRAWING	
ELEVATION 02	


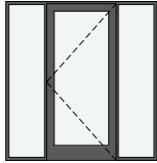
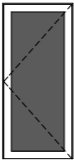
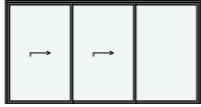
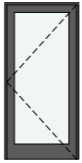
Window Types

												
ID	W01	W02	W03	W04	W05	W06	W06	W07	W08	W09	W10	W11
W x H Size	2,410×1,800	2,110×600	610×600	1,810×850	2,410×1,800	500×1,600	1,500×1,600	600×1,600	2,110×900	2,110×900	900×1,800	1,810×600
Sill Height	300	1,500	1,500	1,250	300	500	500	500	1,250	1,250	300	1,500
Opening Type	Awing	Awing	Awing	Awing	Awing	Fixed conner	Fixed conner	Fixed conner	Awing	Awing	Awing	Awing
Glazing	Clear double glazing	Clear double glazing	Frosted double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing
Frame type	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium

Window Types

		
ID	W12	W13
W x H Size	610×1,200	1,810×600
Sill Height	900	1,500
Opening Type	Awing	Awing
Glazing	Frosted double glazing	Clear double glazing
Frame type	Powdercoated Aluminium	Powdercoated Aluminium

Door Types

					
ID	D01	D02	D03	D04	D05
W x H Size	5,000×2,100	2,000×2,100	900×2,040	4,000×2,100	920×2,040
Glazing	N/A	Clear double glazing	N/A	Clear double glazing	Clear double glazing
Opening Type Code	Top sliding	Swing	Swing	Sliding	Swing

Kingborough Council
 Development Application: DA-2024-309
 Plan Reference No: P2
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GENERAL NOTES

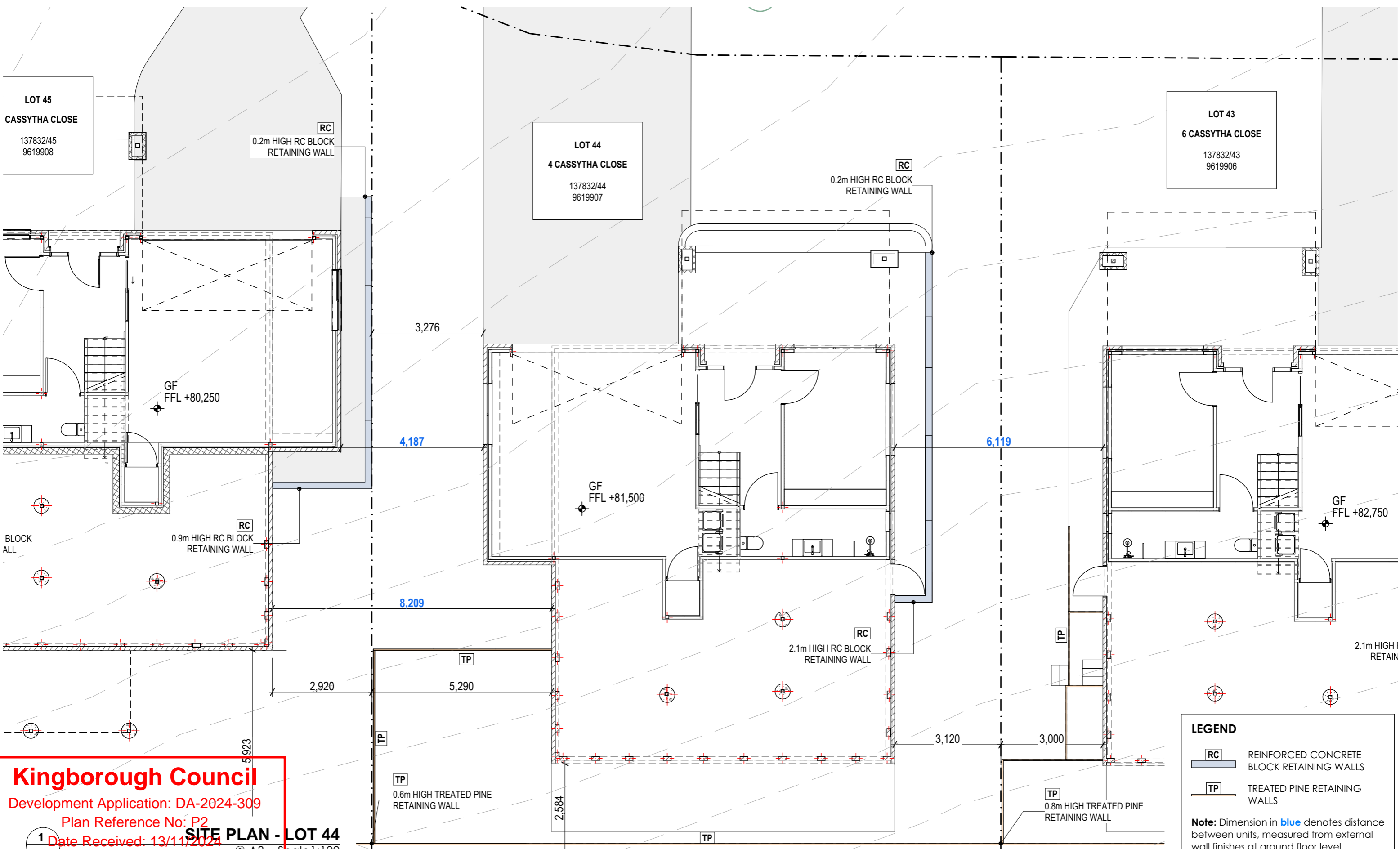
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Rev ID	Description	Date
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PROJECT	CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050
CLIENT	MORNING STAR HOLDINGS PTY LTD

REVISION	DATE	SCALE
	13/11/2024	AS SHOWN @ A3
PROJECT ID	CHECKED BY	DRAWN BY
2009	A.HILL	J. LIM

PAGE	NORTH
L45-A107	
LOT 45, 2 CASSYTHA CLOSE	
DRAWING	WINDOW & DOOR SCHEDULE



LEGEND

RC REINFORCED CONCRETE BLOCK RETAINING WALLS

TP TREATED PINE RETAINING WALLS

Note: Dimension in **blue** denotes distance between units, measured from external wall finishes at ground floor level. Refer to **A005-A009** for more details

Kingborough Council
 Development Application: DA-2024-309
 Plan Reference No: P2
 Date Received: 13/11/2024
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SITE PLAN - LOT 44
 @ A3 Scale 1:100

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CLIENT	MORNING STAR HOLDINGS PTY LTD

REVISION		DATE	13/11/2024	SCALE	AS SHOWN @ A3
PROJECT ID	2009	CHECKED BY	A.HILL	DRAWN BY	J. LIM

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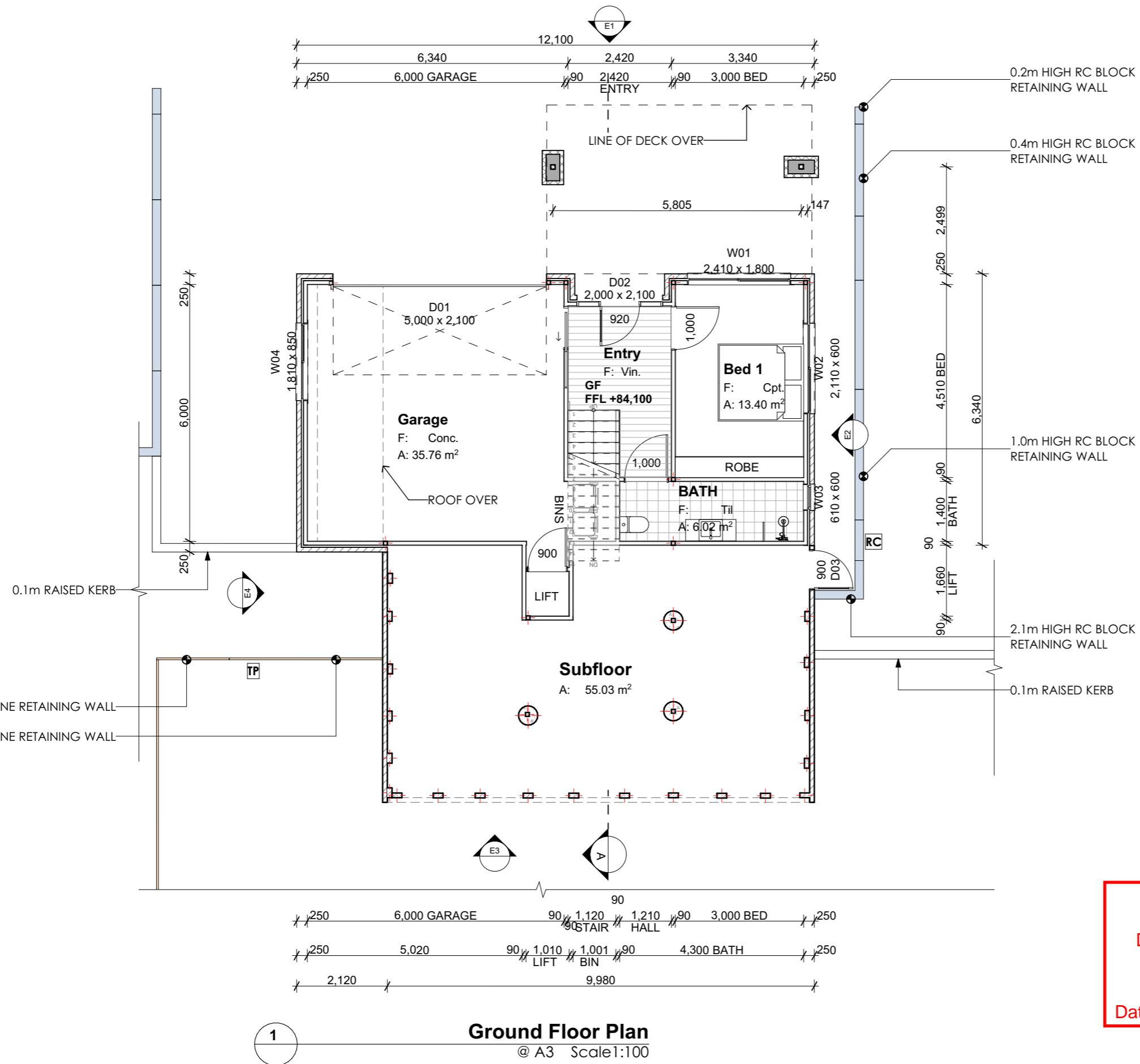
L44-A101

LOT 44, 4 CASSYTHA CLOSE

DRAWING

SITE PLAN & CONTEXT

NORTH



Room List	
Room Name	Measured Area
Bath	7.74
BATH	6.02
Bed 1	13.40
Bed 2	13.71
Deck	24.43
Entry	7.74
Garage	35.76
Kitchen	30.73
LANDING	1.00
L'dry	2.30
Living	31.88
Master	12.77
Subfloor	55.03
WIR	7.79
	250.30 m ²

LEGEND	
	TREATED PINE RETAINING WALL
	REINFORCED CONCRETE BLOCK RETAINING WALL
	TIMBER FENCE
nom	NOMINAL
COS	CONFIRM ON SITE

Kingborough Council
 Development Application: DA-2024-309
 Plan Reference No: P2
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1
Ground Floor Plan
 @ A3 Scale: 1:100

GENERAL NOTES

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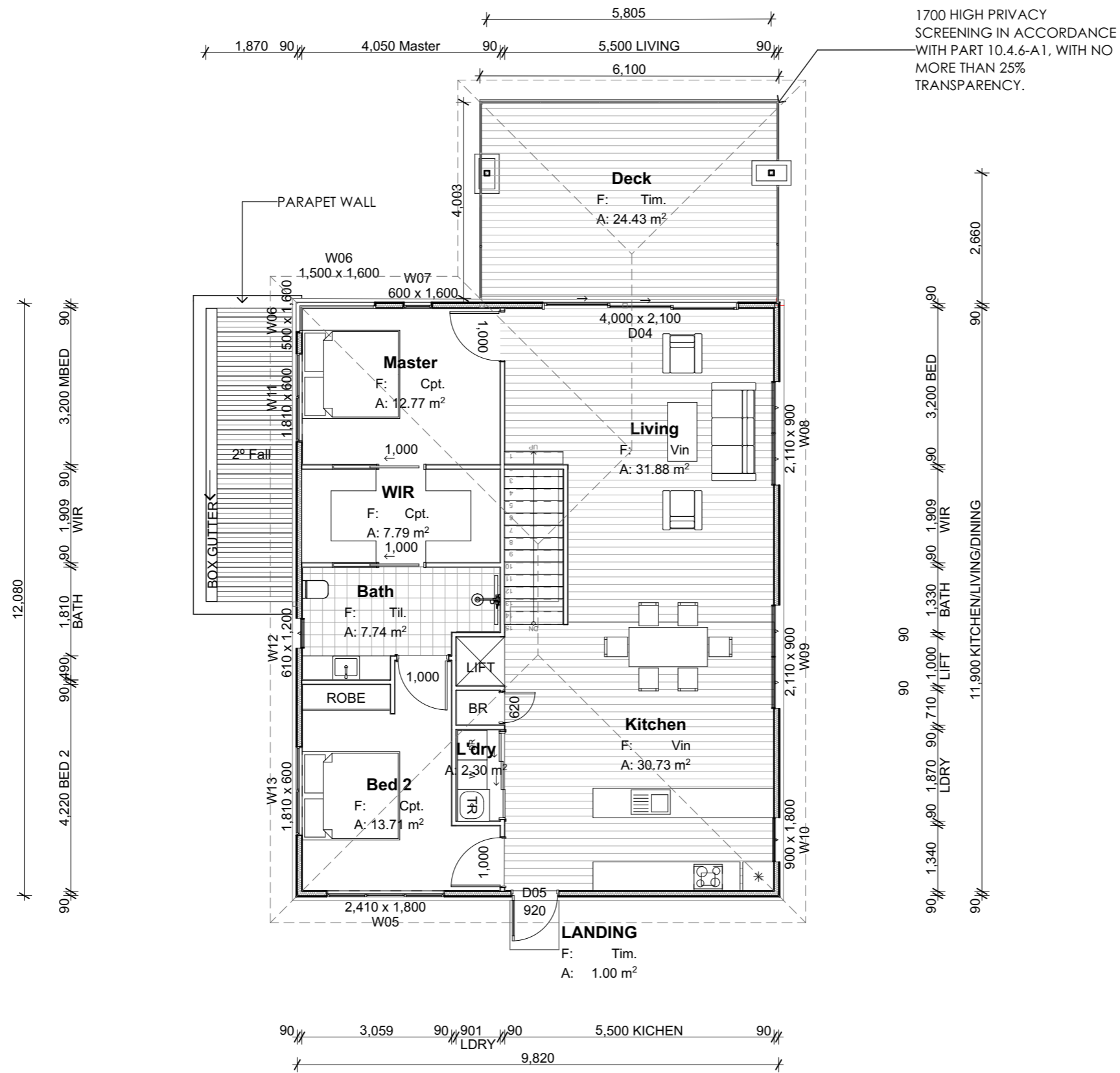
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CLIENT	PROJECT ID	CHECKED BY
MORNING STAR HOLDINGS PTY LTD	2009	A.HILL

SCALE	DRAWN BY
AS SHOWN @ A3	J. LIM

PAGE	DRAWING
L44-A102	GROUND FLOOR PLAN

NORTH





Room List	
Room Name	Measured Area
Bath	7.74
BATH	6.02
Bed 1	13.40
Bed 2	13.71
Deck	24.43
Entry	7.74
Garage	35.76
Kitchen	30.73
LANDING	1.00
L'dry	2.30
Living	31.88
Master	12.77
Subfloor	55.03
WIR	7.79
	250.30 m ²

1
First Floor Plan
 @ A3 Scale 1:100

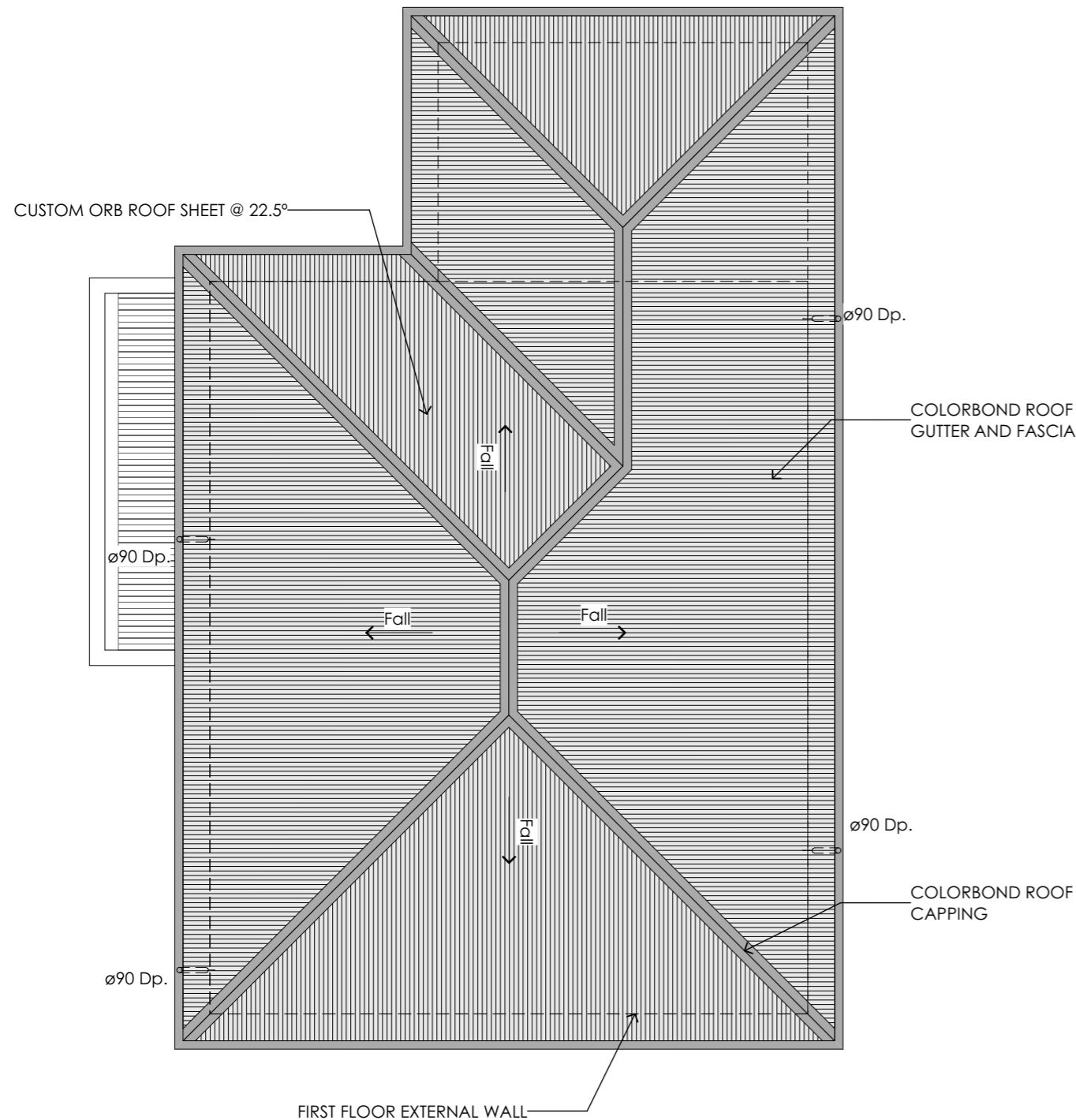
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 Plan Reference No: P2
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LEGEND & NOTES

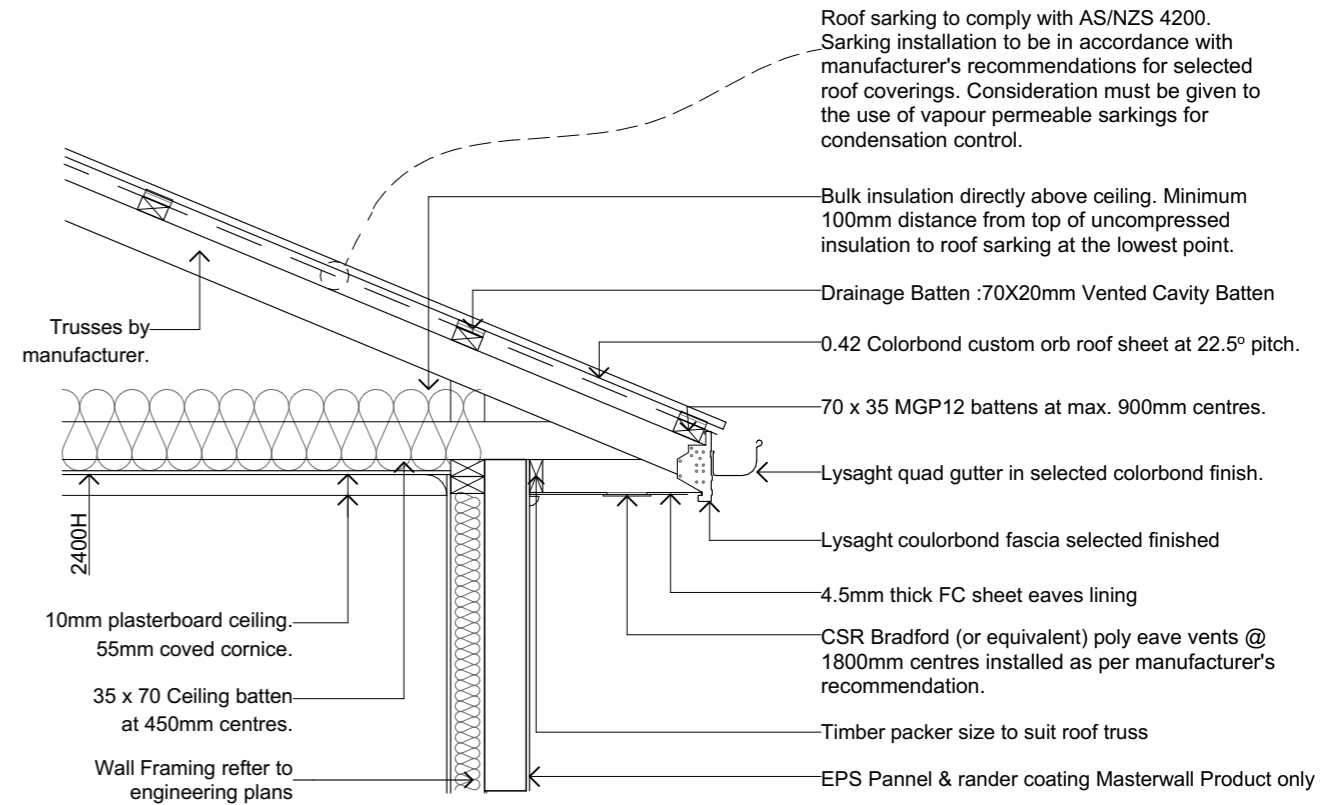
DP. Downpipe 90dia PVC downpipe

NOTES:

1. GUTTERS MUST BE INSTALLED WITH A FALL OF NOT LESS THAN 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS; AND 1:100 FOR BOX GUTTERS



Roof Plan
@ A3 Scale 1:100



ROOF CONDENSATION CONTROL DETAIL

NTS

Kingborough Council

Development Application: DA-2024-309
Plan Reference No: P2
Date Received: 13/11/2024
Date placed on Public Exhibition: 20/11/2024

AS3500.3 - STORMWATER DRAINAGE		
Rc	Roof Catchment Area	195.81m ²
	Roof Pitch	22.5 deg Rc x 1.21 slope factor = 236.93m ² (TABLE 3.2)
	Design Rainfall (100yr 5 min Duration)	116L/s (NCC Vol 2 Part 3.5.2.5)
	Downpipe Crossover	90dia - 6400 - (TABLE 3.3)
C	Max Catchment Area per Downpipe	64m ² (FIG 3.5 (A))
	Number Downpipes Required	Rp / C = 3.70
	Number Downpipes Provided	4 (rounded up)

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Rev ID	Description	Date
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PROJECT
CASSYTHA CLOSE
4 VILLAGE DRIVE KINGSTON TAS 7050

REVISION
DATE
13/11/2024

SCALE
AS SHOWN @ A3

PAGE
NORTH

CLIENT
MORNING STAR HOLDINGS PTY LTD

PROJECT ID
2009

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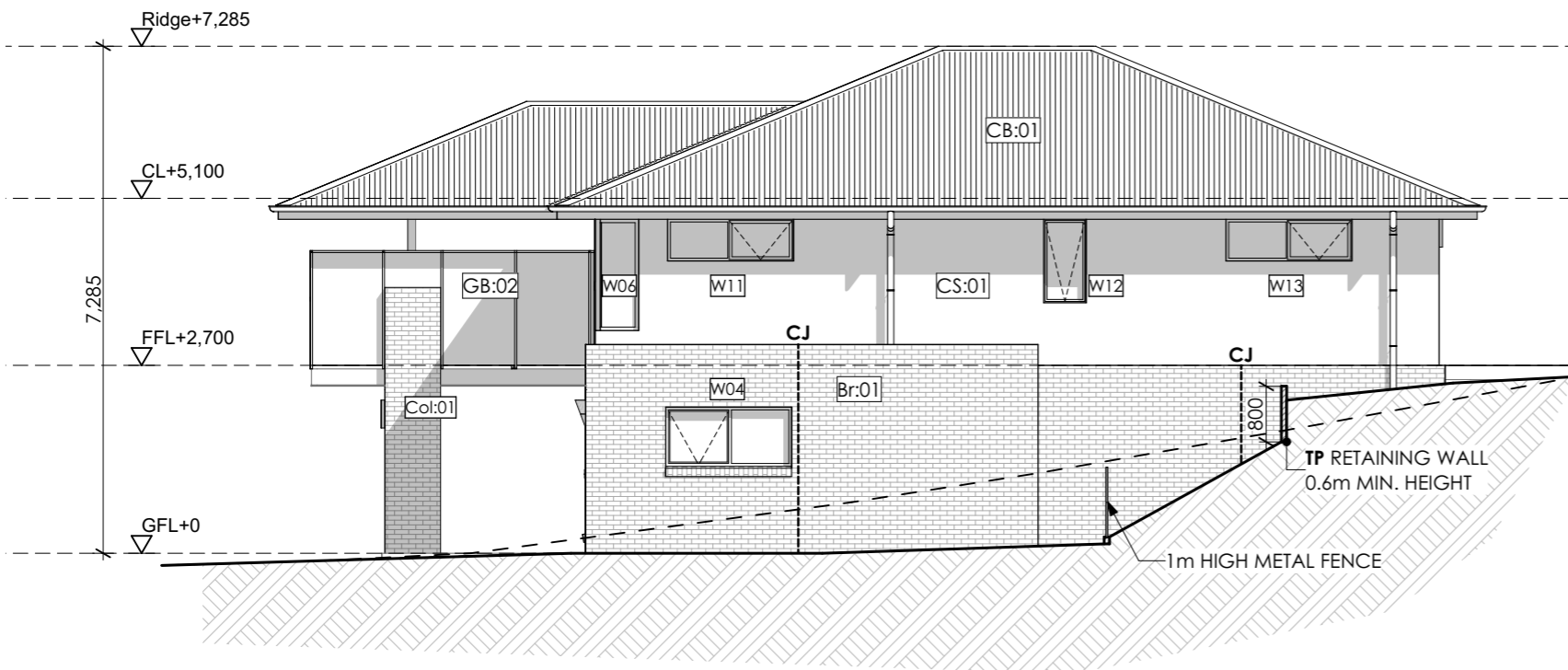
L44-A104
LOT 44, 4 CASSYTHA CLOSE

DRAWING
ROOF PLAN





E1 NORTH ELEVATION
@ A3 Scale 1:100



E4 WEST ELEVATION
@ A3 Scale 1:100

LEGEND & NOTES

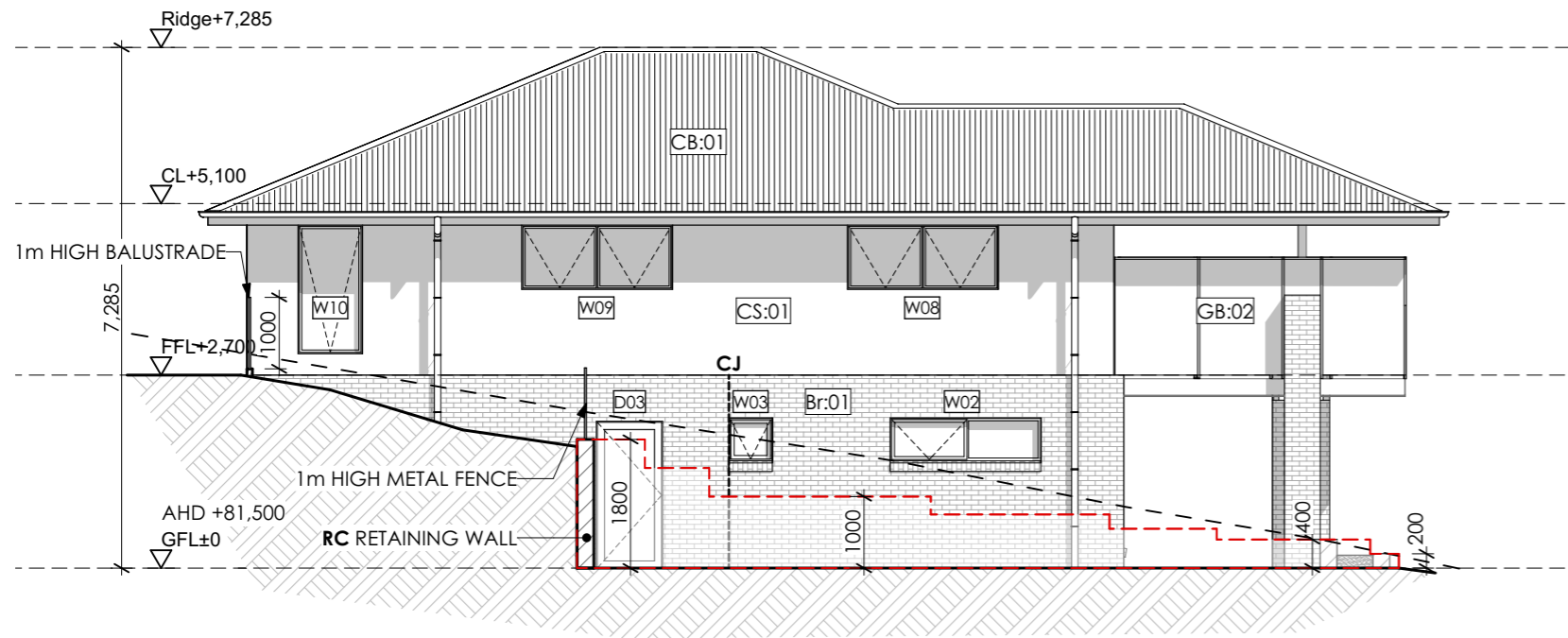
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- CL: Ceiling level
- Br:01 Face brickwork
- CB:01 Colorbond roof
- GB:01 Glass balustrade, min. 1,000mm high to comply with AS1288. 40dia. S/S handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1
- GB:02 Glass privacy screen min. 1,700mm high to comply with AS1288. 40dia. S/S handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1 No more than 25% transparency
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- TD:01 Timber framed deck
- CS:01 Easylap cement sheet
- Conc:01 Concrete driveway
- RW:01 190 series concrete block retaining wall
- Col:01 rendered 100 series block column
- TS:01 Timber screen
- FC:01 Fibre cement sheet cladding Render finish
- CJ Vertical articulation joints as shown or not more than 5m
- FE 1m high timber screen
- TP Treated pine retaining wall
- RC Reinforced concrete block retaining wall
- - - NGL
- FGL

Kingborough Council
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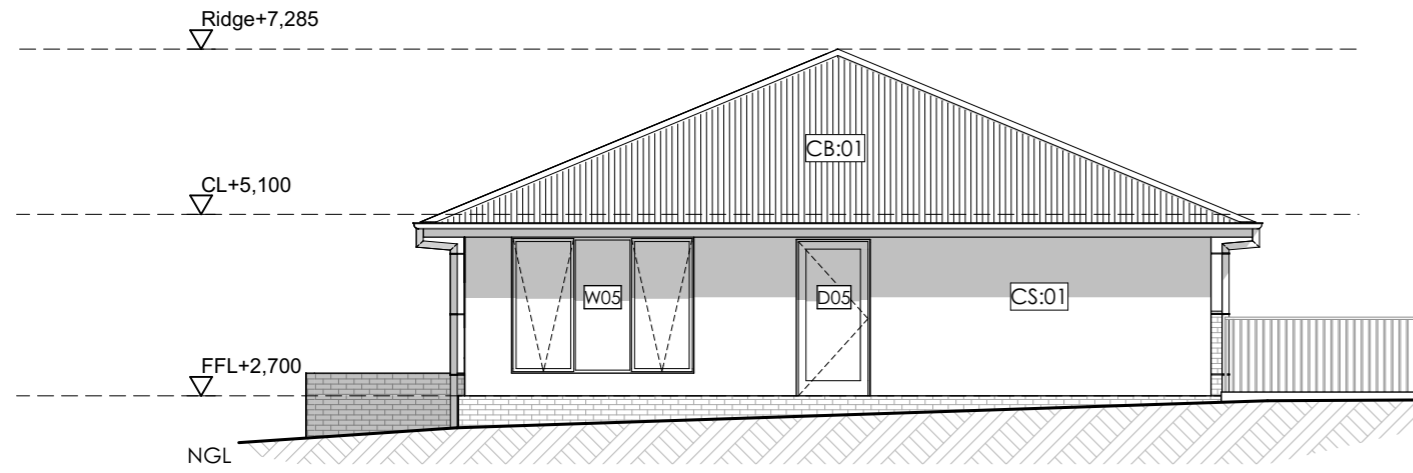
Rev ID	Description	Date

PROJECT	REVISION	DATE	SCALE
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PAGE	NORTH
L44-A105	
LOT 44, 4 CASSYTHA CLOSE	
DRAWING	
ELEVATION 01	



E2 EAST ELEVATION
@ A3 Scale 1:100



E3 SOUTH ELEVATION
@ A3 Scale 1:100

LEGEND & NOTES

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- FL: Floor level
- CL: Ceiling level
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- Col:01 rendered 100 series block column
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- FC:01 Fibre cement sheet cladding Render finish
- CJ Vertical articulation joints as shown or not more than 5m
- FE** 1m high timber screen
- TP** Treated pine retaining wall
- RC** Reinforced concrete block retaining wall
- - - - - NGL
- — — — — FGL

Kingborough Council

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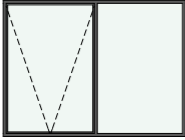



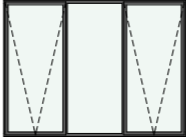





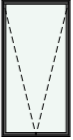

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MORNING STAR HOLDINGS PTY LTD	2009	A.HILL	J. LIM

PAGE	NORTH
L44-A106	
LOT 44, 4 CASSYTHA CLOSE	
DRAWING	DRAWING
ELEVATION 02	


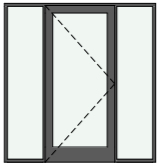
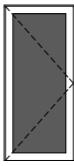
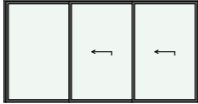
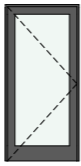
Window Types

												
ID	W01	W02	W03	W04	W05	W06	W06	W07	W08	W09	W10	W11
W x H Size	2,410×1,800	2,110×600	610×600	1,810×850	2,410×1,800	500×1,600	1,500×1,600	600×1,600	2,110×900	2,110×900	900×1,800	1,810×600
Sill Height	300	1,500	1,500	1,250	300	500	500	500	1,200	1,200	300	1,500
Opening Type	Awing	Awing	Awing	Awing	Awing	Fixed conner	Fixed conner	Fixed conner	Awing	Awing	Awing	Awing
Glazing	Clear double glazing	Clear double glazing	Frosted double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing
Frame type	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium

Window Types


		
ID	W12	W13
W x H Size	610×1,200	1,810×600
Sill Height	900	1,500
Opening Type	Awing	Awing
Glazing	Frosted double glazing	Clear double glazing
Frame type	Powdercoated Aluminium	Powdercoated Aluminium

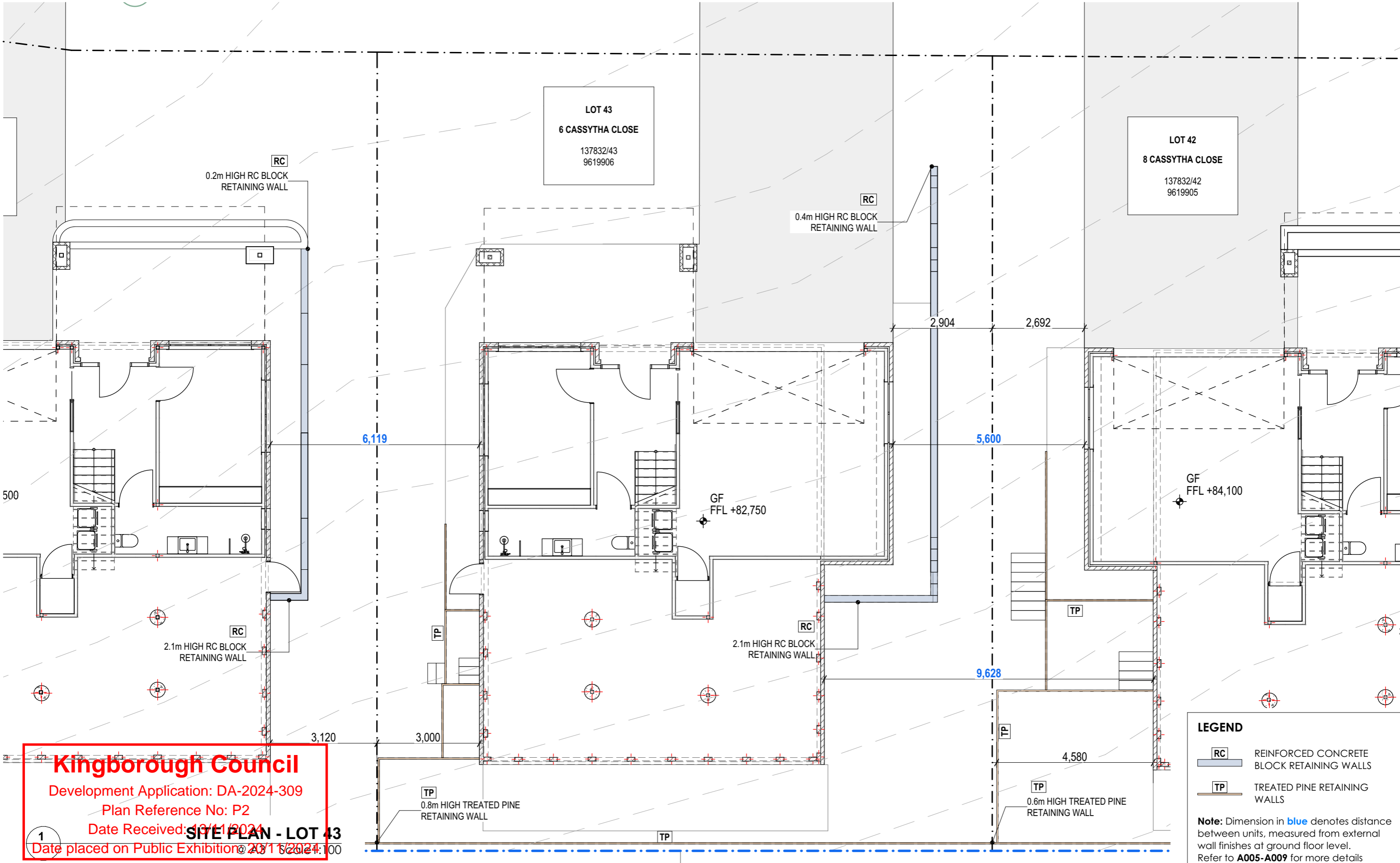
Door Types

View from Reveal Side					
ID	D01	D02	D03	D04	D05
W x H Size	5,000×2,100	2,000×2,100	900×2,040	4,000×2,100	920×2,040
Glazing	N/A	Clear double glazing	N/A	Clear double glazing	Clear double glazing
Opening Type Code	Top sliding	Swing	Swing	Sliding	Swing

Kingborough Council
 Development Application: DA-2024-309
 Plan Reference No: P2
 Date Received: 13/11/2024
 Date placed on Public Exhibition: 20/11/2024

NOTE:
 *BUILT AS APPROVED UNDER DA-2021-215

 ORAMATIS STUDIO 214 Elizabeth Street, Hobart p: (03) 6286 8440 e: admin@oramatis.com.au © Oramatis Studio PTY LTD Building Practitioner Accreditation: CC6540 Document Set ID: 4539586	GENERAL NOTES CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCEMENT OF ANY WORK. CONTRACTORS SHALL CLARIFY ANY DISCREPANCIES BEFORE COMMENCEMENT OF ANY WORK. DRAWINGS MUST NOT BE SCALED. CONTRACTORS SHALL SUBMIT SAMPLES AND SHOP DRAWINGS BEFORE COMMENCING WORK. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS. THESE DESIGNS, PLANS, SPECIFICATIONS AND THE COPYRIGHT HEREIN ARE THE PROPERTY OF ORAMATIS STUDIO AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF ORAMATIS STUDIO.	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Rev ID</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Rev ID	Description	Date				<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>PROJECT</th> <th>REVISION</th> <th>DATE</th> <th>SCALE</th> </tr> </thead> <tbody> <tr> <td>CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050</td> <td> </td> <td>13/11/2024</td> <td>AS SHOWN @ A3</td> </tr> <tr> <td>CLIENT</td> <td>PROJECT ID</td> <td>CHECKED BY</td> <td>DRAWN BY</td> </tr> <tr> <td>MORNING STAR HOLDINGS PTY LTD</td> <td>2009</td> <td>A.HILL</td> <td>J. LIM</td> </tr> </tbody> </table>	PROJECT	REVISION	DATE	SCALE	CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050		13/11/2024	AS SHOWN @ A3	CLIENT	PROJECT ID	CHECKED BY	DRAWN BY	MORNING STAR HOLDINGS PTY LTD	2009	A.HILL	J. LIM	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>PAGE</th> <th>NORTH</th> </tr> </thead> <tbody> <tr> <td>L44-A107</td> <td> </td> </tr> <tr> <td colspan="2">LOT 44, 4 CASSYTHA CLOSE</td> </tr> <tr> <td colspan="2">DRAWING</td> </tr> <tr> <td colspan="2">WINDOW & DOOR SCHEDULE</td> </tr> </tbody> </table>	PAGE	NORTH	L44-A107		LOT 44, 4 CASSYTHA CLOSE		DRAWING		WINDOW & DOOR SCHEDULE	
Rev ID	Description	Date																																		
PROJECT	REVISION	DATE	SCALE																																	
CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050		13/11/2024	AS SHOWN @ A3																																	
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MORNING STAR HOLDINGS PTY LTD	2009	A.HILL	J. LIM																																	
PAGE	NORTH																																			
L44-A107																																				
LOT 44, 4 CASSYTHA CLOSE																																				
DRAWING																																				
WINDOW & DOOR SCHEDULE																																				



Rev ID	Description	Date

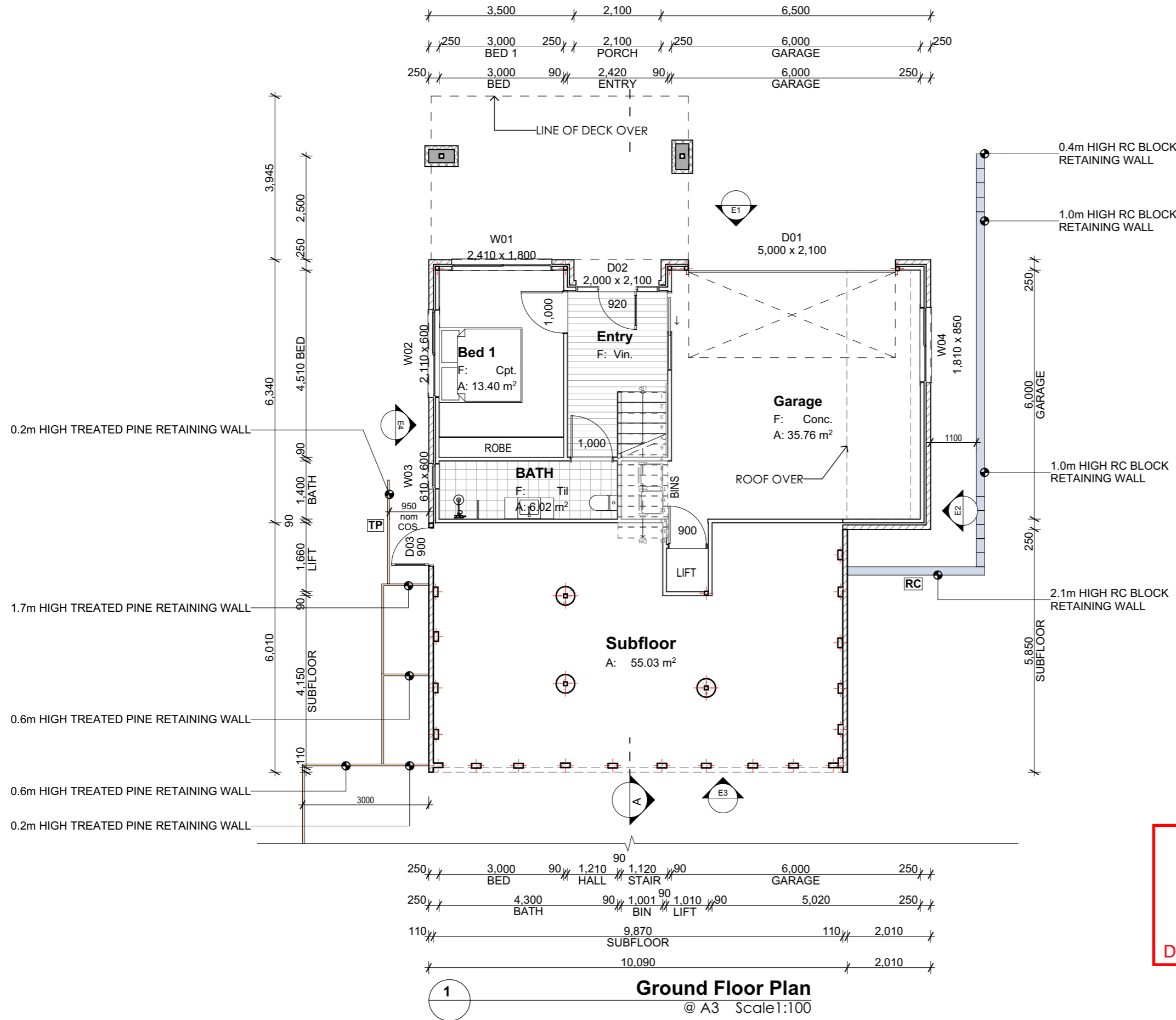
Rev ID	Description	Date

PROJECT	CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050
CLIENT	MORNING STAR HOLDINGS PTY LTD

REVISION	
DATE	13/11/2024
CHECKED BY	A.HILL

SCALE	AS SHOWN @ A3
DRAWN BY	J. LIM

PAGE	L43-A101
DRAWING	SITE PLAN & CONTEXT



Room List	
Room Name	Measured Area
Bath	7.74
BATH	6.02
Bed 1	13.40
Bed 2	13.71
Deck (POS)	24.49
Entry	7.74
Garage	35.76
Kitchen	30.73
LANDING	1.77
L'dry	2.30
Living	31.88
Master	12.77
Subfloor	55.03
WIR	7.79
	251.13 m²

LEGEND	
	TREATED PINE RETAINING WALL
	REINFORCED CONCRETE BLOCK RETAINING WALL
	TIMBER FENCE
nom	NOMINAL
COS	CONFIRM ON SITE

Kingborough Council
 Development Application: DA-2024-309
 Plan Reference No: P2
 Date Received: 13/11/2024
 Date placed on Public Exhibition: 20/11/2024

1
Ground Floor Plan
 @ A3 Scale 1:100

GENERAL NOTES

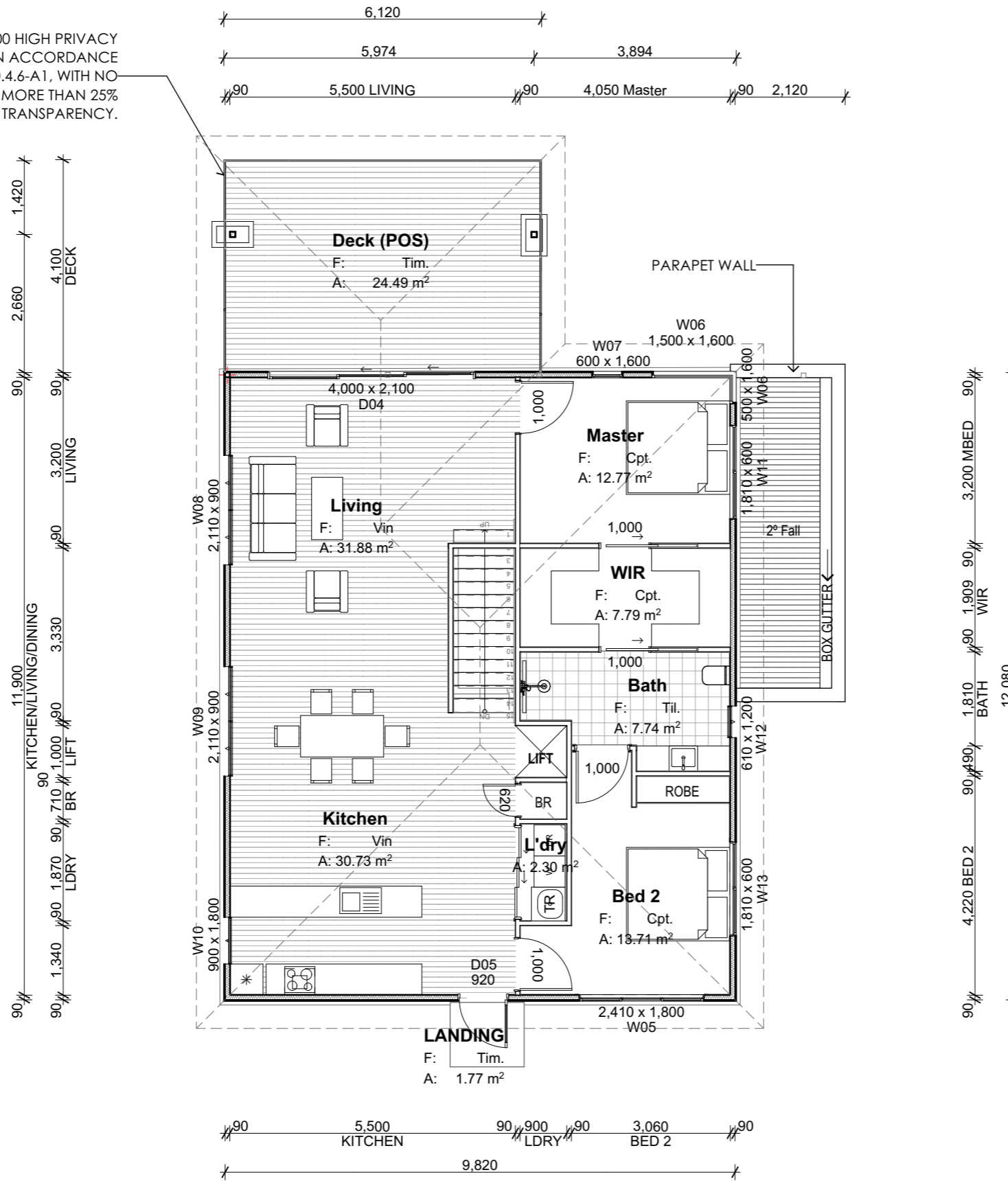
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CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
MORNING STAR HOLDINGS PTY LTD	2009	A.HILL	J. LIM

PAGE	NORTH
L43-A102	
LOT 43, 6 CASSYTHA CLOSE	
DRAWING	
GROUND FLOOR PLAN	

1700 HIGH PRIVACY SCREENING IN ACCORDANCE WITH PART 10.4.6-A1, WITH NO MORE THAN 25% TRANSPARENCY.



Room List	
Room Name	Measured Area
Bath	7.74
BATH	6.02
Bed 1	13.40
Bed 2	13.71
Deck (POS)	24.49
Entry	7.74
Garage	35.76
Kitchen	30.73
LANDING	1.77
L'dry	2.30
Living	31.88
Master	12.77
Subfloor	55.03
WIR	7.79
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Kingborough Council
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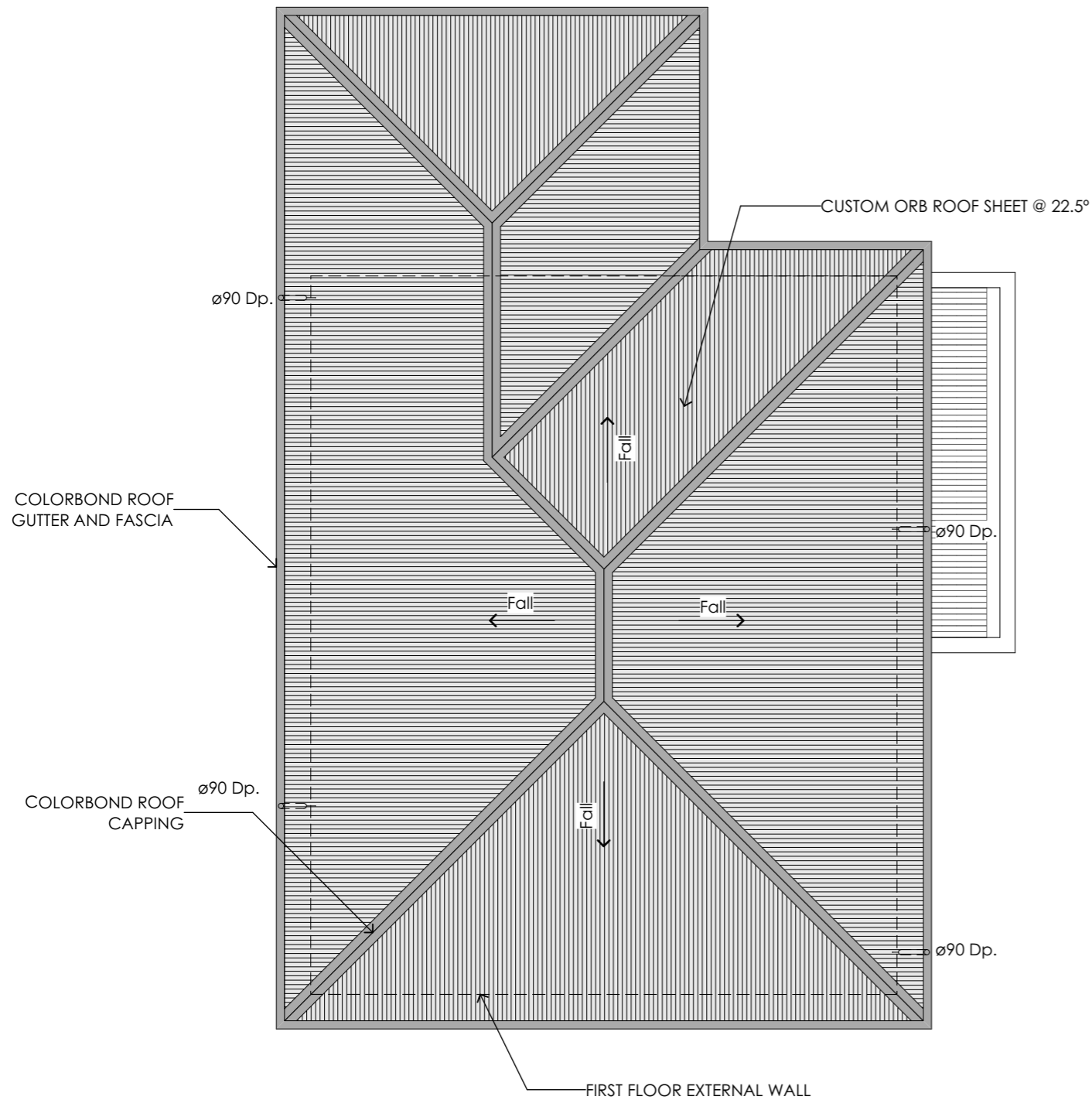
1 First Floor Plan
 @ A3 Scale 1:100

LEGEND & NOTES

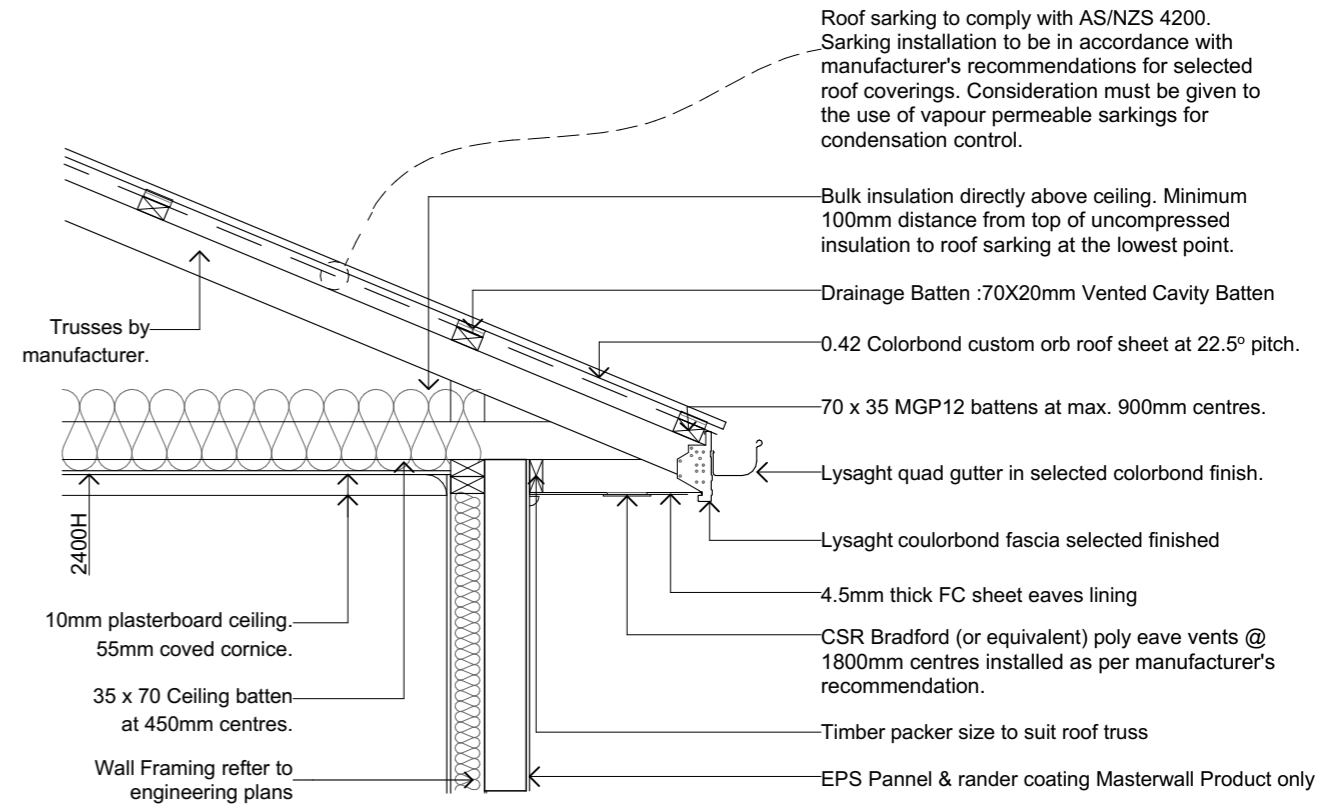
DP. Downpipe 90dia PVC downpipe

NOTES:

1. GUTTERS MUST BE INSTALLED WITH A FALL OF NOT LESS THAN 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS; AND 1:100 FOR BOX GUTTERS



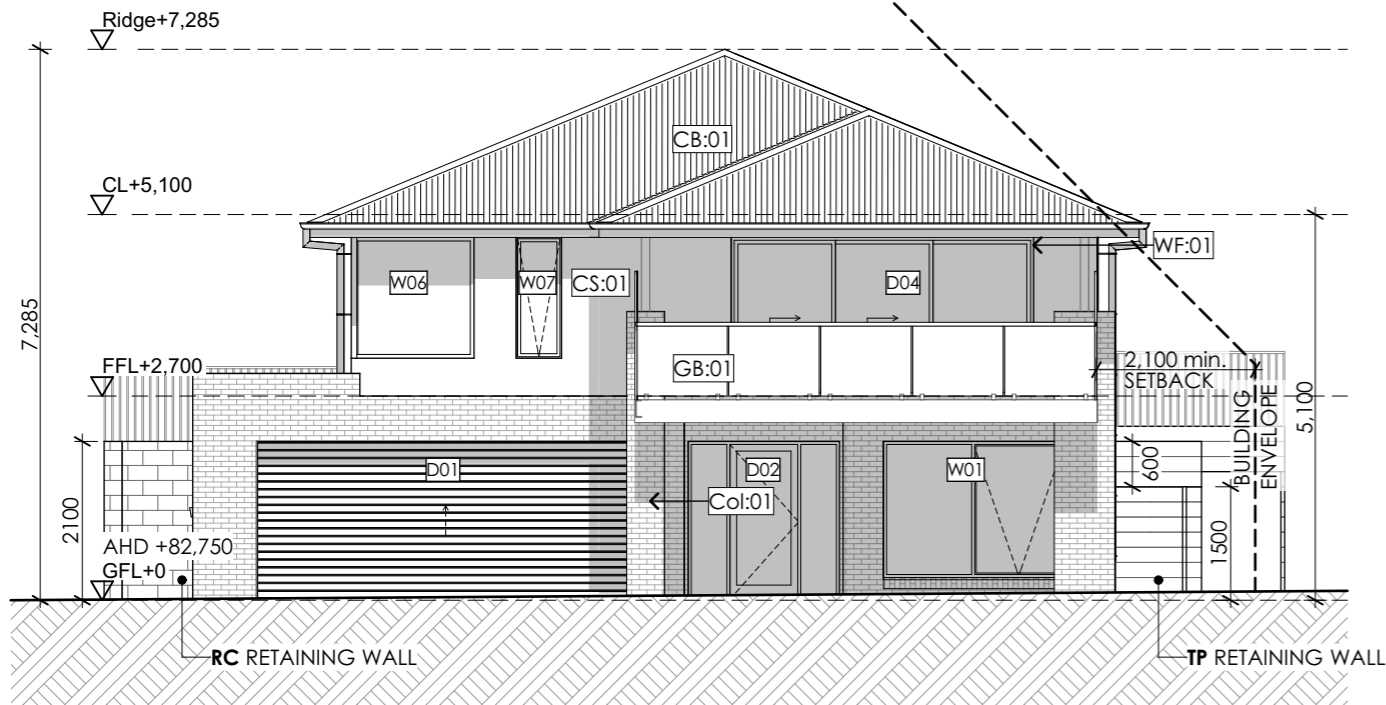
1 **Roof Plan**
@ A3 Scale 1:100



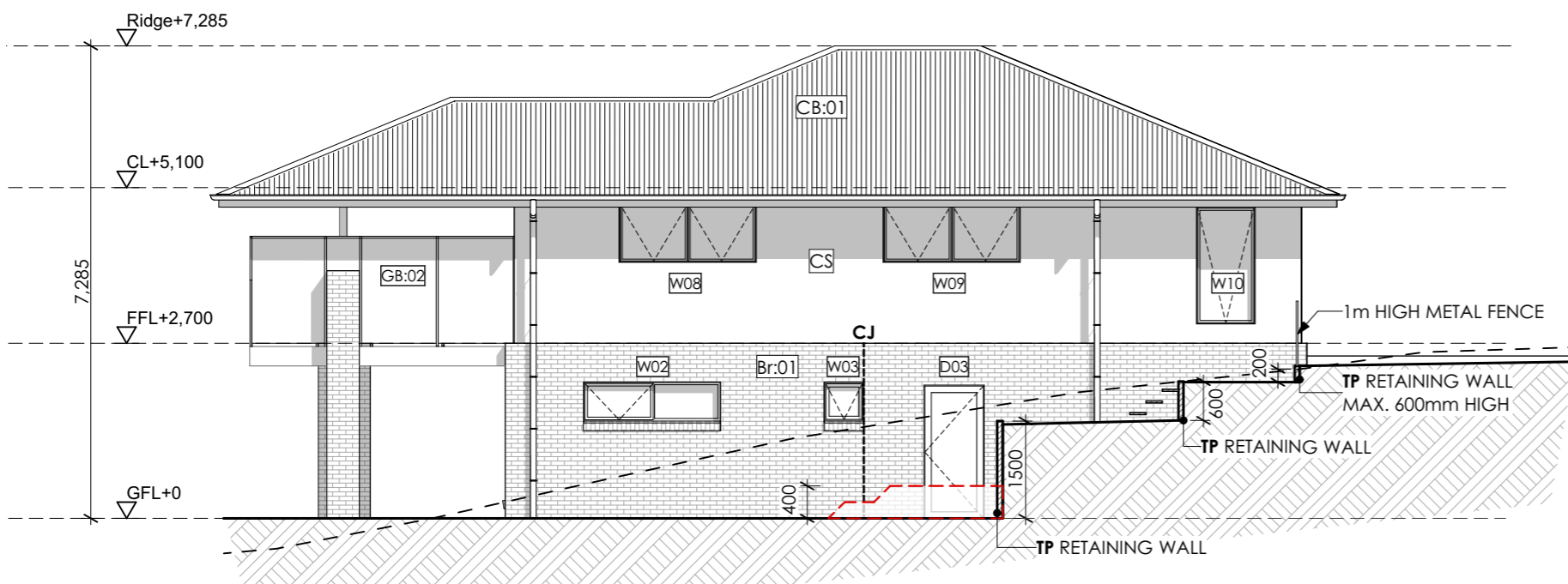
ROOF CONDENSATION CONTROL DETAIL
NTS

Kingborough Council
 Development Application: DA-2024-309
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AS3500.3 - STORMWATER DRAINAGE		
Rc	Roof Catchment Area	195.81m ²
	Roof Pitch	22.5 deg Rc x 1.21 slope factor = 236.93m ² (TABLE 3.2)
	Design Rainfall (100yr 5 min Duration)	116L/s (NCC Vol 2 Part 3.5.2.5)
	Downpipe Crossover	90dia - 6400 - (TABLE 3.3)
C	Max Catchment Area per Downpipe	64m ² (FIG 3.5 (A))
	Number Downpipes Required	Rp / C = 3.70
	Number Downpipes Provided	4 (rounded up)



E1 NORTH ELEVATION
@ A3 Scale 1:100



E4 WEST ELEVATION
@ A3 Scale 1:100

LEGEND & NOTES

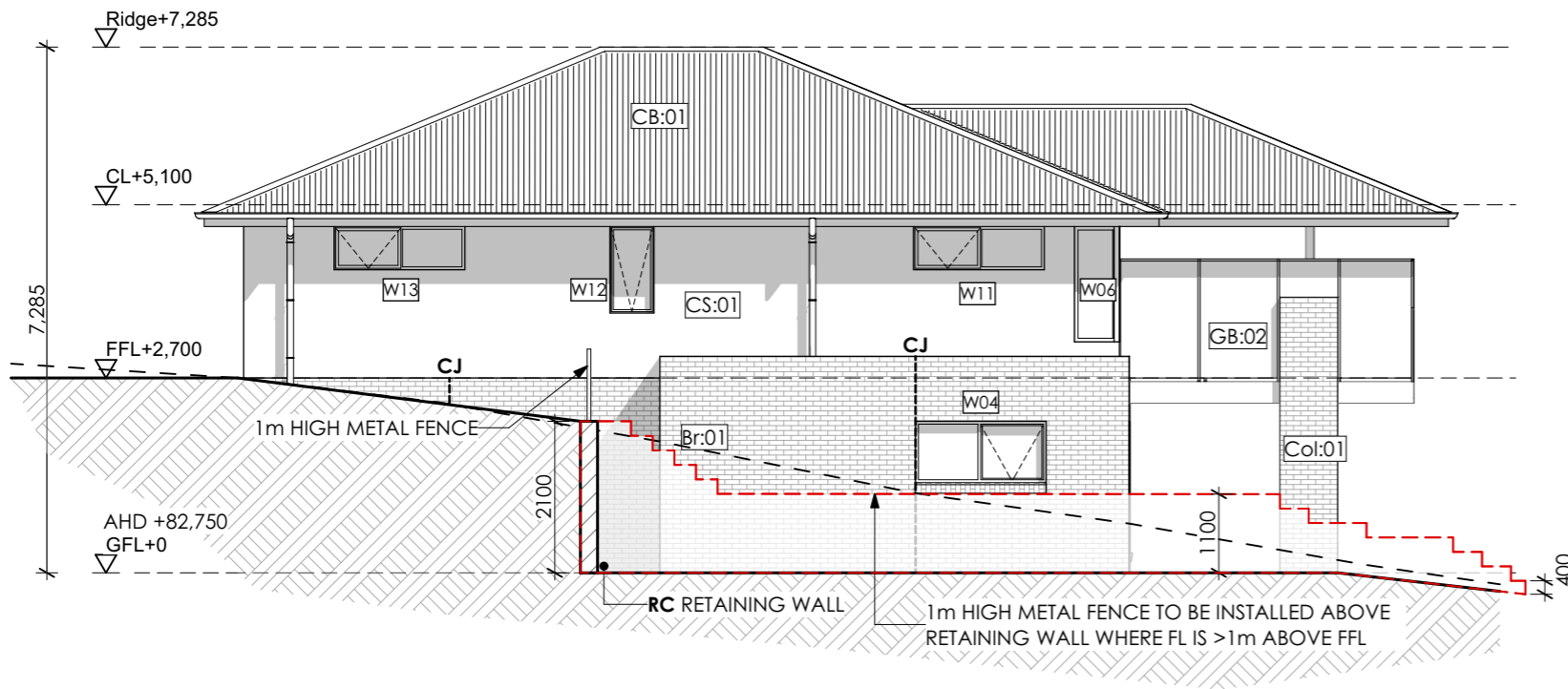
- DP: Downpipe
- FL: Floor level
- CL: Ceiling level
- Br:01 Face brickwork
- CB:01 Colorbond roof
- GB:01 Glass balustrade, min. 1,000mm high to comply with AS1288. 40dia. S/S handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1
- GB:02 Glass privacy screen min. 1,700mm high to comply with AS1288. 40dia. S/S handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1 No more than 25% transparency
- WF:01 Powdercoated aluminium window / door frames Colour: Basalt.
- TD:01 Timber framed deck
- CS:01 Easylap cement sheet
- Conc:01 Concrete driveway
- RW:01 190 series concrete block retaining wall
- Col:01 rendered 100 series block column
- TS:01 Timber screen
- FC:01 Fibre cement sheet cladding Render finish
- CJ Vertical articulation joints as shown or not more than 5m
- FE 1m high timber screen
- TP Treated pine retaining wall
- RC Reinforced concrete block retaining wall
- - - NGL
- FGL

Kingborough Council
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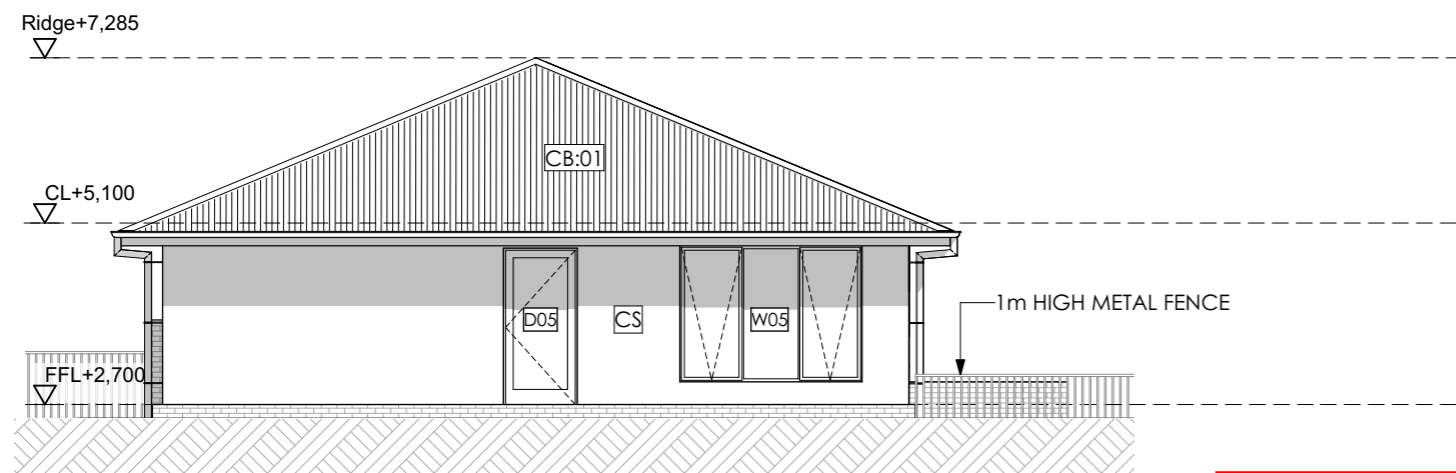
Rev ID	Description	Date

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CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050		13/11/2024	AS SHOWN @ A3
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
MORNING STAR HOLDINGS PTY LTD	2009	A.HILL	J. LIM

PAGE	NORTH
L43-A105	
LOT 43, 6 CASSYTHA CLOSE	
DRAWING	
ELEVATION 01	



E2 EAST ELEVATION
@ A3 Scale 1:100



E3 SOUTH ELEVATION
@ A3 Scale 1:100

LEGEND & NOTES

- DP: Downpipe
- FL: Floor level
- CL: Ceiling level
- Br:01 Face brickwork
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- FE** 1m high timber screen
- TP** Treated pine retaining wall
- RC** Reinforced concrete block retaining wall
- - - - NGL
- FGL

Kingborough Council
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GENERAL NOTES

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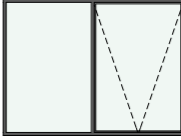



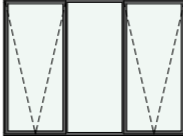





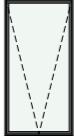

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CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050		13/11/2024	AS SHOWN @ A3
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
MORNING STAR HOLDINGS PTY LTD	2009	A.HILL	J. LIM

PAGE	NORTH
L43-A106	
LOT 43, 6 CASSYTHA CLOSE	
DRAWING	
ELEVATION 02	


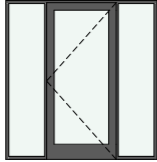
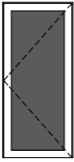
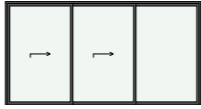
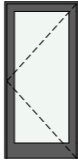
Window Types

												
ID	W01	W02	W03	W04	W05	W06	W06	W07	W08	W09	W10	W11
W x H Size	2,410×1,800	2,110×600	610×600	1,810×850	2,410×1,800	500×1,600	1,500×1,600	600×1,600	2,110×900	2,110×900	900×1,800	1,810×600
Sill Height	300	1,500	1,500	1,250	300	500	500	500	1,250	1,250	300	1,500
Opening Type	Awing	Awing	Awing	Awing	Awing	Fixed conner	Fixed conner	Fixed conner	Awing	Awing	Awing	Awing
Glazing	Clear double glazing	Clear double glazing	Frosted double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing
Frame type	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium

Window Types

		
ID	W12	W13
W x H Size	610×1,200	1,810×600
Sill Height	900	1,500
Opening Type	Awing	Awing
Glazing	Frosted double glazing	Clear double glazing
Frame type	Powdercoated Aluminium	Powdercoated Aluminium

Door Types

					
ID	D01	D02	D03	D04	D05
W x H Size	5,000×2,100	2,000×2,100	900×2,040	4,000×2,100	920×2,040
Glazing	N/A	Clear double glazing	N/A	Clear double glazing	Clear double glazing
Opening Type Code	Top sliding	Swing	Swing	Sliding	Swing

Kingborough Council
 Development Application: DA-2024-309
 Plan Reference No: P2
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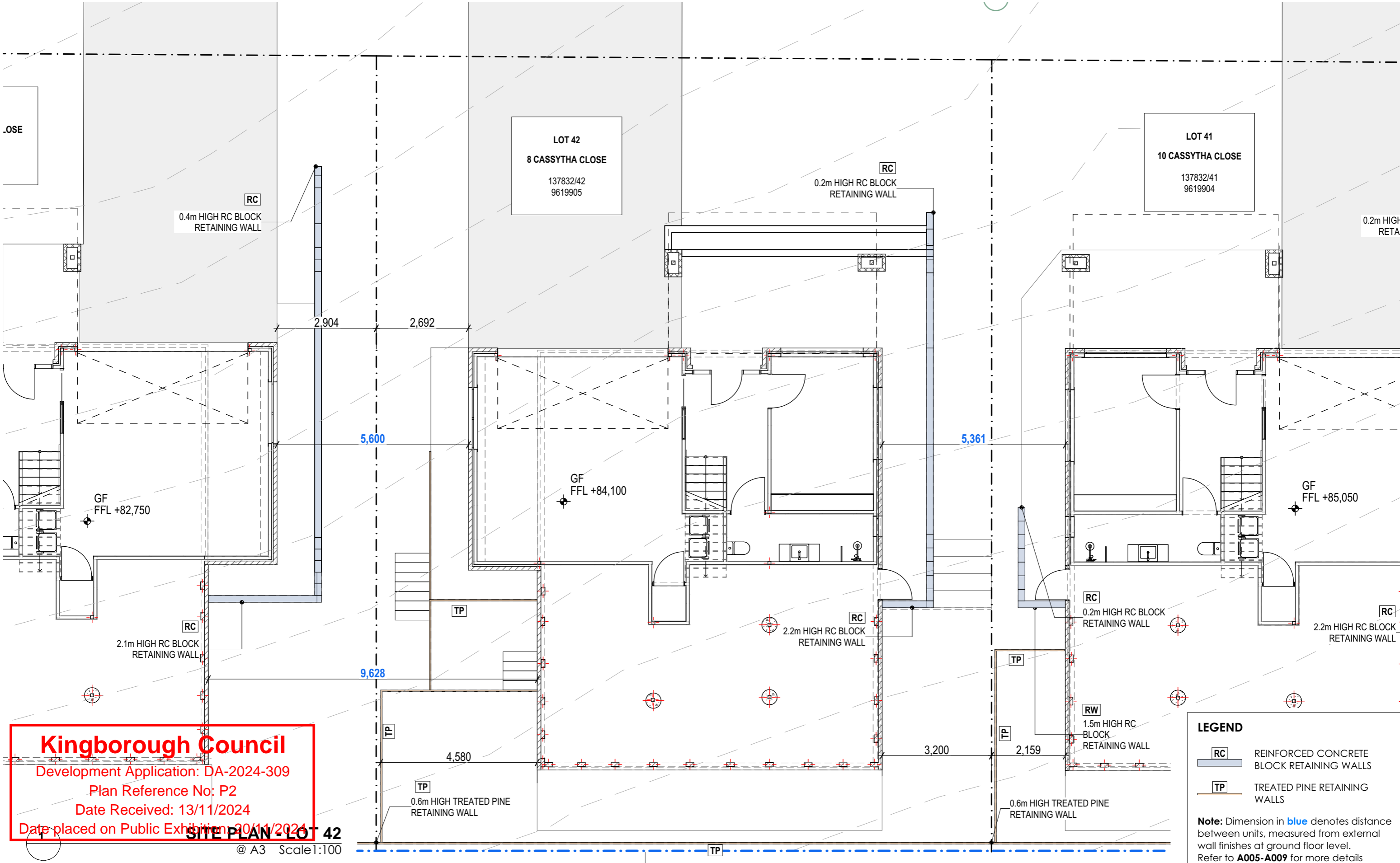
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Rev ID	Description	Date
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PROJECT	CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050
CLIENT	MORNING STAR HOLDINGS PTY LTD

REVISION	DATE	SCALE
	13/11/2024	AS SHOWN @ A3
PROJECT ID	CHECKED BY	DRAWN BY
2009	A.HILL	J. LIM

PAGE	NORTH
L43-A107	
LOT 43, 6 CASSYTHA CLOSE	
DRAWING	WINDOW & DOOR SCHEDULE



Kingborough Council
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SITE PLAN - LOT 42
 @ A3 Scale: 1:100

LEGEND

RC REINFORCED CONCRETE BLOCK RETAINING WALLS

TP TREATED PINE RETAINING WALLS

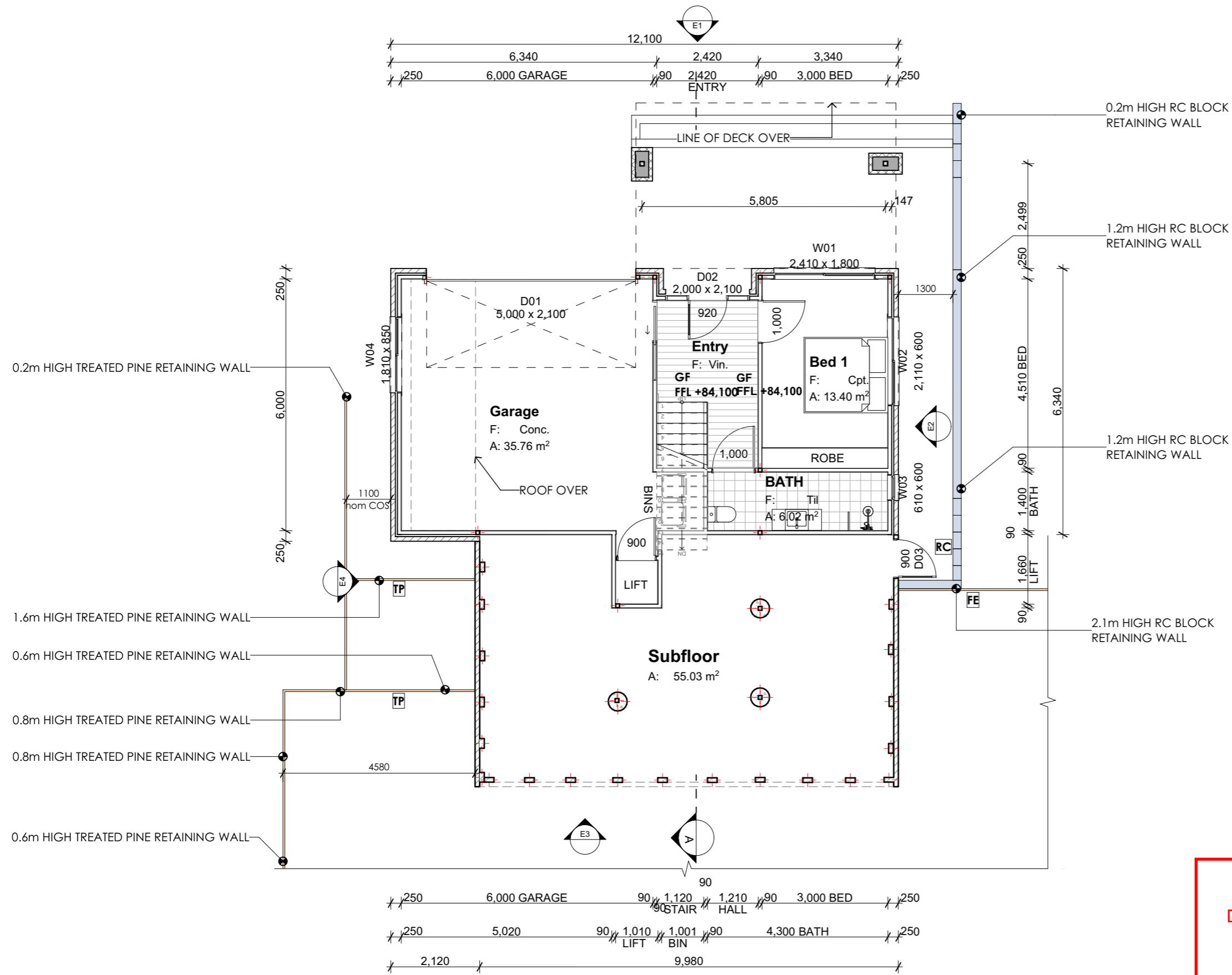
Note: Dimension in blue denotes distance between units, measured from external wall finishes at ground floor level. Refer to A005-A009 for more details

Rev ID	Description	Date

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REVISION	
DATE	13/11/2024
CHECKED BY	A.HILL

SCALE	AS SHOWN @ A3
DRAWN BY	J. LIM



Room List	
Room Name	Measured Area
Bath	7.74
BATH	6.02
Bed 1	13.40
Bed 2	13.71
Deck	24.43
Entry	7.74
Garage	35.76
Kitchen	30.73
LANDING	1.00
L'dry	2.30
Living	31.88
Master	12.77
Subfloor	55.03
WIR	7.79
	250.30 m ²

LEGEND	
TP	TREATED PINE RETAINING WALL
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1
Ground Floor Plan
 @ A3 Scale 1:100

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PROJECT

CASSYTHA CLOSE
4 VILLAGE DRIVE KINGSTON TAS 7050

CLIENT

MORNING STAR HOLDINGS PTY LTD

REVISION

PROJECT ID

2009

DATE

13/11/2024

CHECKED BY

A.HILL

SCALE

AS SHOWN @ A3

DRAWN BY

J. LIM

PAGE

L42-A102

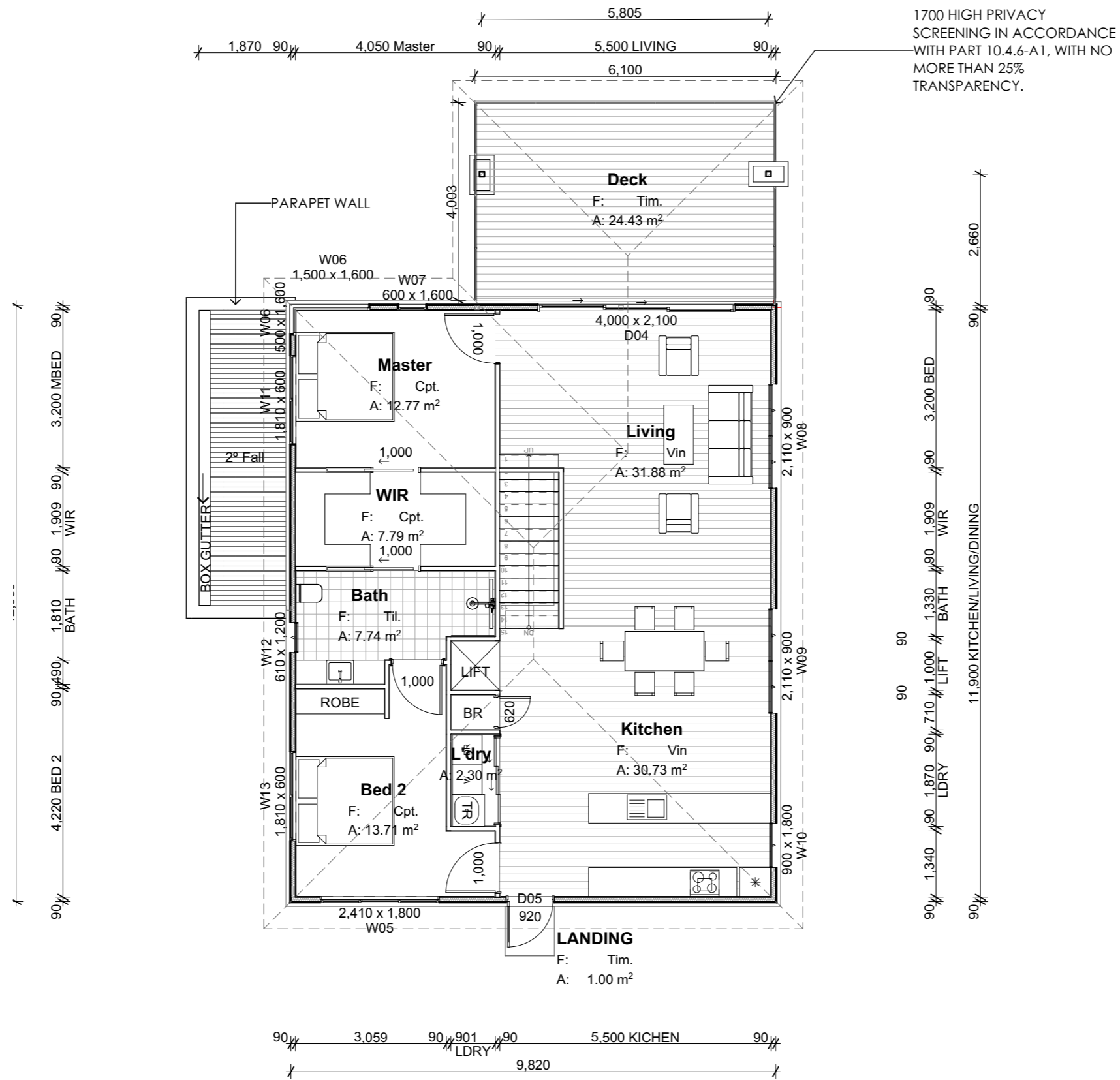
LOT 42, 8 CASSYTHA CLOSE

DRAWING

GROUND FLOOR PLAN

NORTH





Room List	
Room Name	Measured Area
Bath	7.74
BATH	6.02
Bed 1	13.40
Bed 2	13.71
Deck	24.43
Entry	7.74
Garage	35.76
Kitchen	30.73
LANDING	1.00
L'dry	2.30
Living	31.88
Master	12.77
Subfloor	55.03
WIR	7.79
	250.30 m ²

2 **First Floor Plan**
@ A3 Scale 1:100

Kingborough Council
Development Application: DA-2024-309
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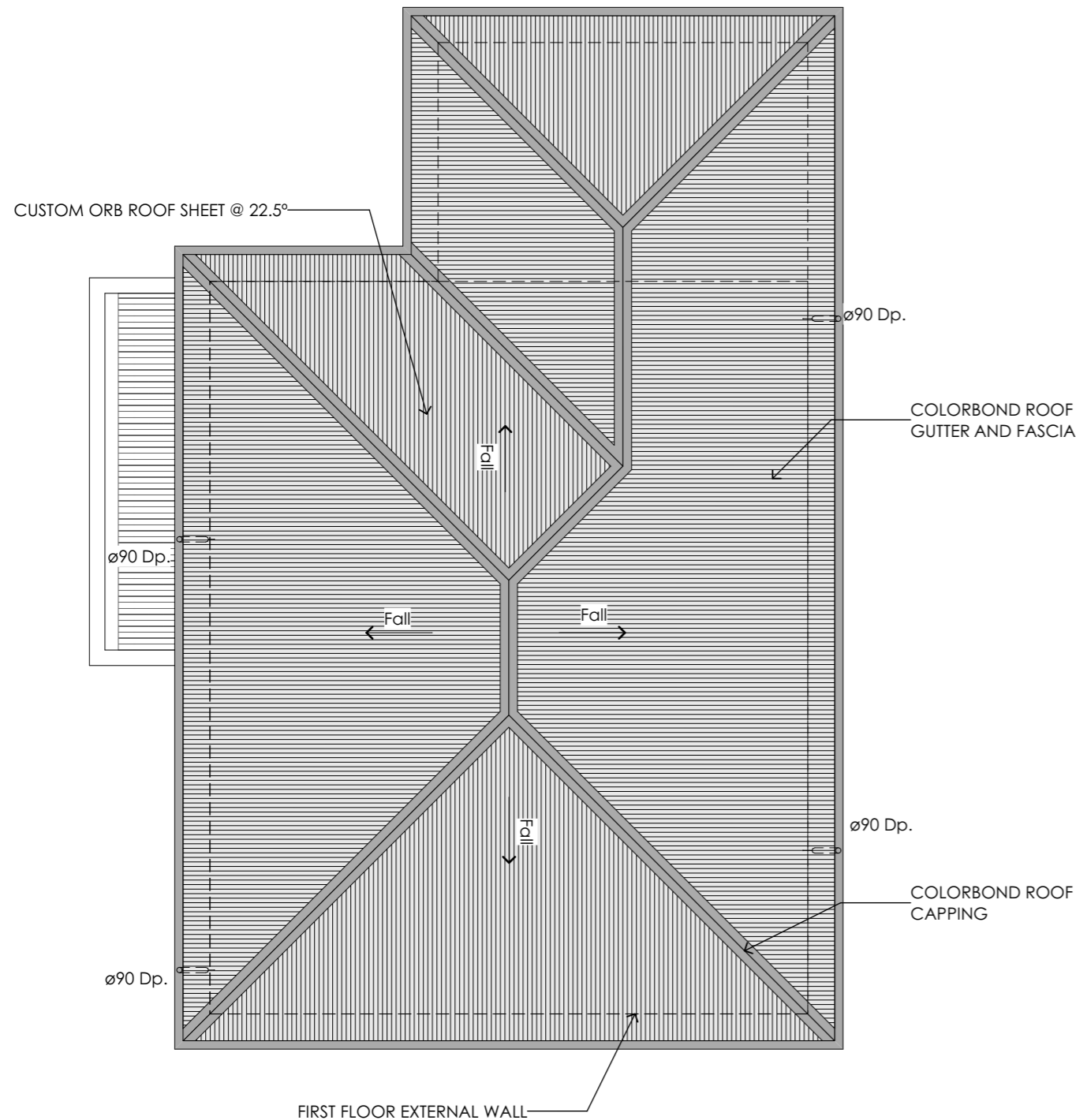
PAGE	NORTH
L42-A103	
LOT 42, 8 CASSYTHA CLOSE	
DRAWING	
FIRST FLOOR PLAN	

LEGEND & NOTES

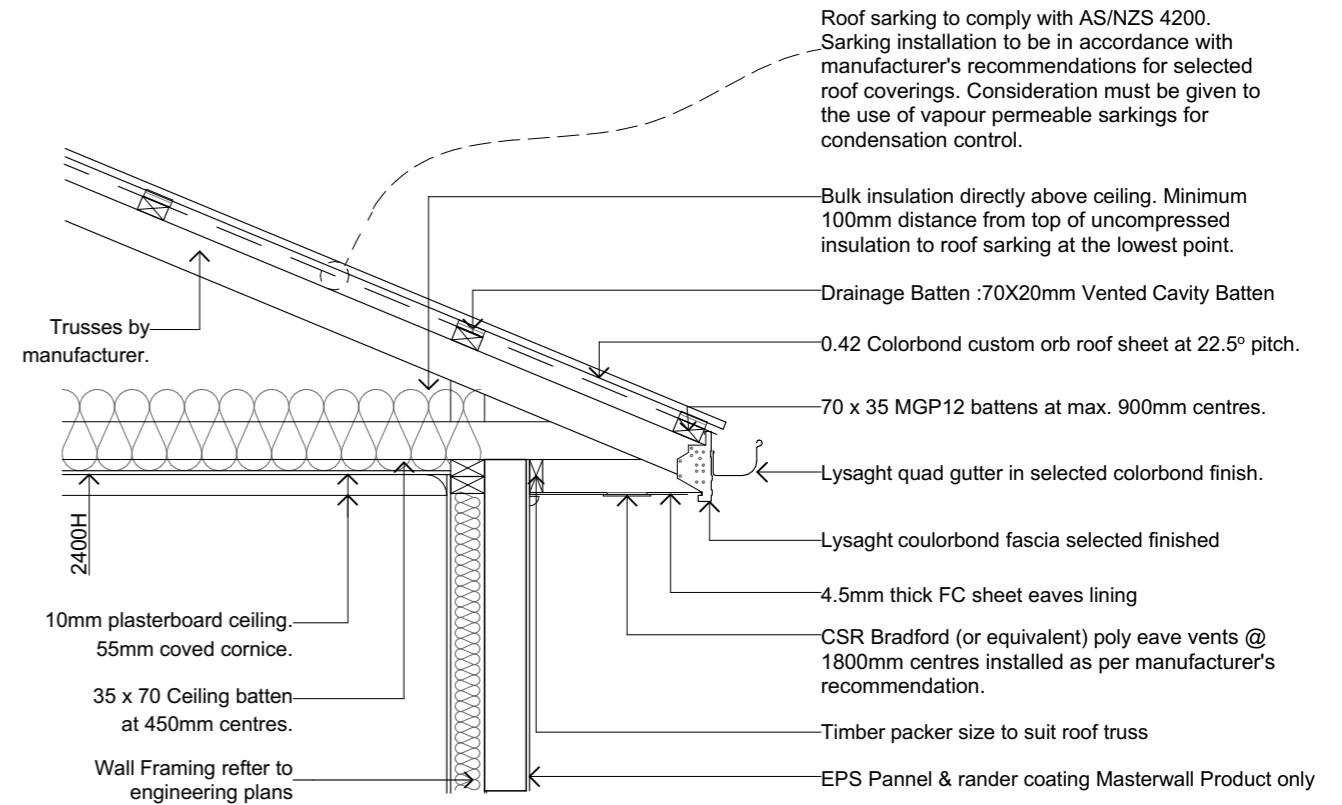
DP. Downpipe 90dia PVC downpipe

NOTES:

1. GUTTERS MUST BE INSTALLED WITH A FALL OF NOT LESS THAN 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS; AND 1:100 FOR BOX GUTTERS



Roof Plan
@ A3 Scale 1:100



ROOF CONDENSATION CONTROL DETAIL NTS

Kingborough Council
Development Application: DA-2024-309
Plan Reference No: P2
Date Received: 13/11/2024
Date placed on Public Exhibition: 20/11/2024

AS3500.3 - STORMWATER DRAINAGE		
Rc	Roof Catchment Area	195.81m ²
	Roof Pitch	22.5 deg Rc x 1.21 slope factor = 236.93m ² (TABLE 3.2)
	Design Rainfall (100yr 5 min Duration)	116L/s (NCC Vol 2 Part 3.5.2.5)
	Downpipe Crossover	90dia - 6400 - (TABLE 3.3)
C	Max Catchment Area per Downpipe	64m ² (FIG 3.5 (A))
	Number Downpipes Required	Rp / C = 3.70
	Number Downpipes Provided	4 (rounded up)

GENERAL NOTES

CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCEMENT OF ANY WORK. CONTRACTORS SHALL CLARIFY ANY DISCREPANCIES BEFORE COMMENCEMENT OF ANY WORK. DRAWINGS MUST NOT BE SCALED.
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Rev ID	Description	Date
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PROJECT
CASSYTHA CLOSE
4 VILLAGE DRIVE KINGSTON TAS 7050

CLIENT
MORNING STAR HOLDINGS PTY LTD

REVISION
DATE
13/11/2024

PROJECT ID
2009

SCALE
AS SHOWN @ A3

CHECKED BY
A.HILL

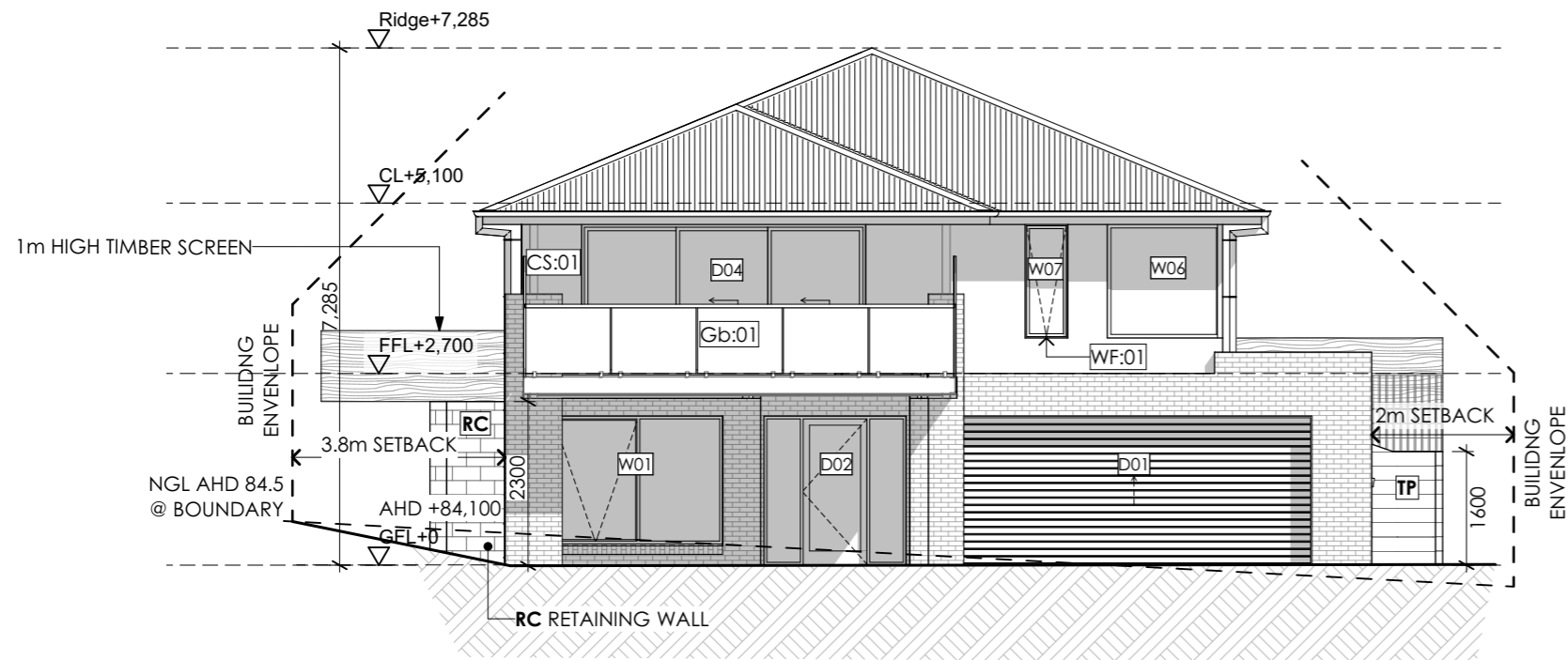
PAGE
L42-A104

LOT 42, 8 CASSYTHA CLOSE

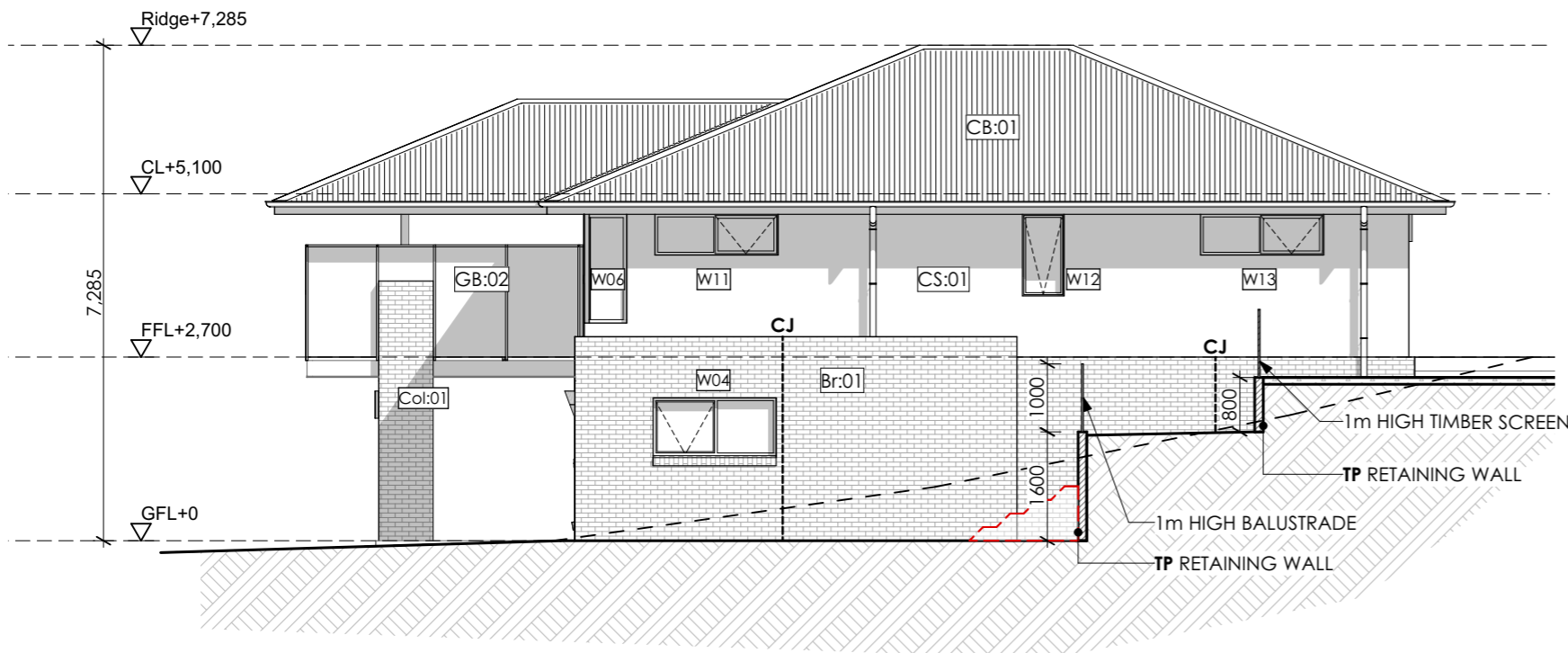
DRAWING
ROOF PLAN

NORTH





E1 NORTH ELEVATION
@ A3 Scale 1:100



E4 WEST ELEVATION
@ A3 Scale 1:100

LEGEND & NOTES

- DP: Downpipe
- FL: Floor level
- CL: Ceiling level
- Br:01 Face brickwork
- CB:01 Colorbond roof
- GB:01 Glass balustrade, min. 1,000mm high to comply with AS1288. 40dia. S/S handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1
- GB:02 Glass privacy screen min. 1,700mm high to comply with AS1288. 40dia. S/S handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1 No more than 25% transparency
- WF:01 Powdercoated aluminium window / door frames Colour: Basalt.
- TD:01 Timber framed deck
- CS:01 Easylap cement sheet
- Conc:01 Concrete driveway
- RW:01 190 series concrete block retaining wall
- Col:01 rendered 100 series block column
- TS:01 Timber screen
- FC:01 Fibre cement sheet cladding Render finish
- CJ Vertical articulation joints as shown or not more than 5m
- FE 1m high timber screen
- TP Treated pine retaining wall
- RC Reinforced concrete block retaining wall
- - - NGL
- FGL

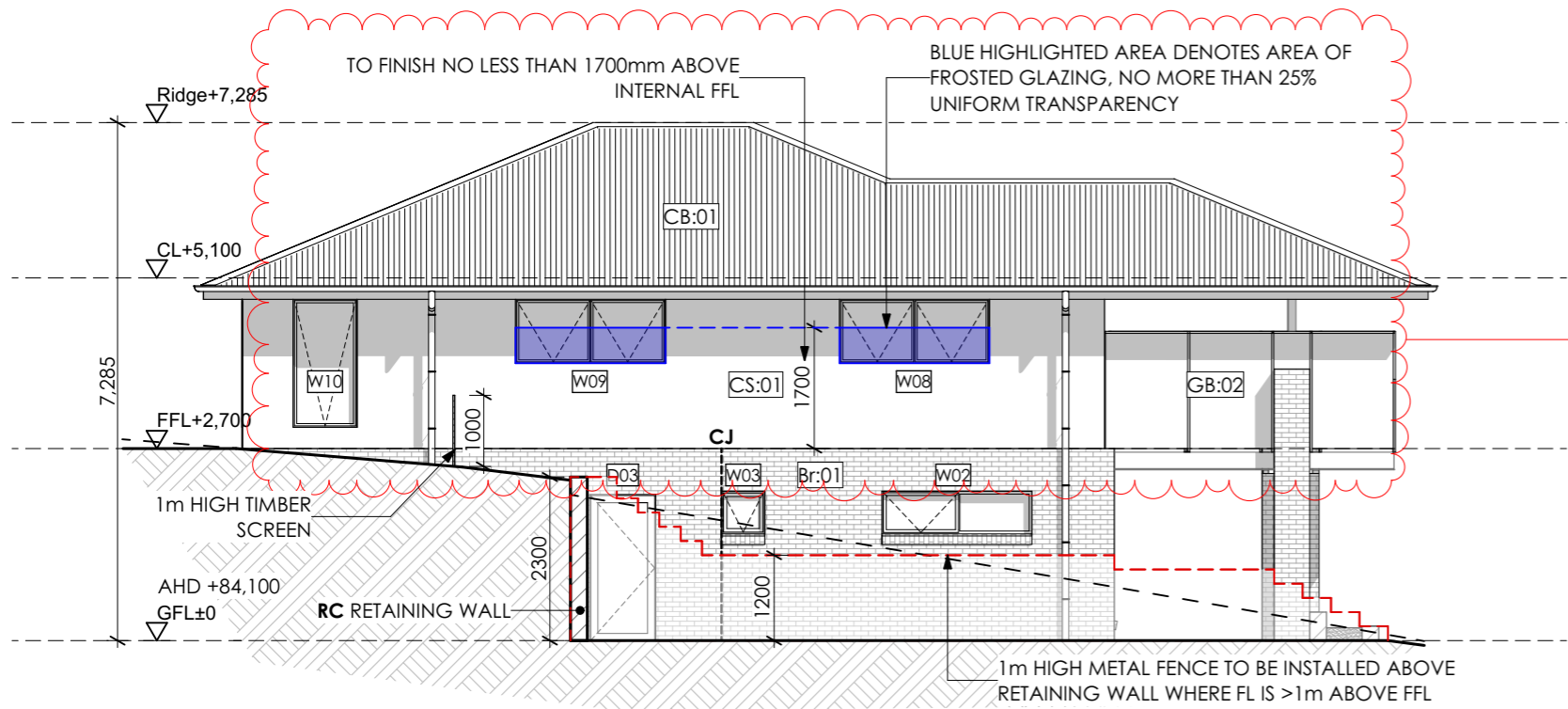
Kingborough Council
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Rev ID	Description	Date

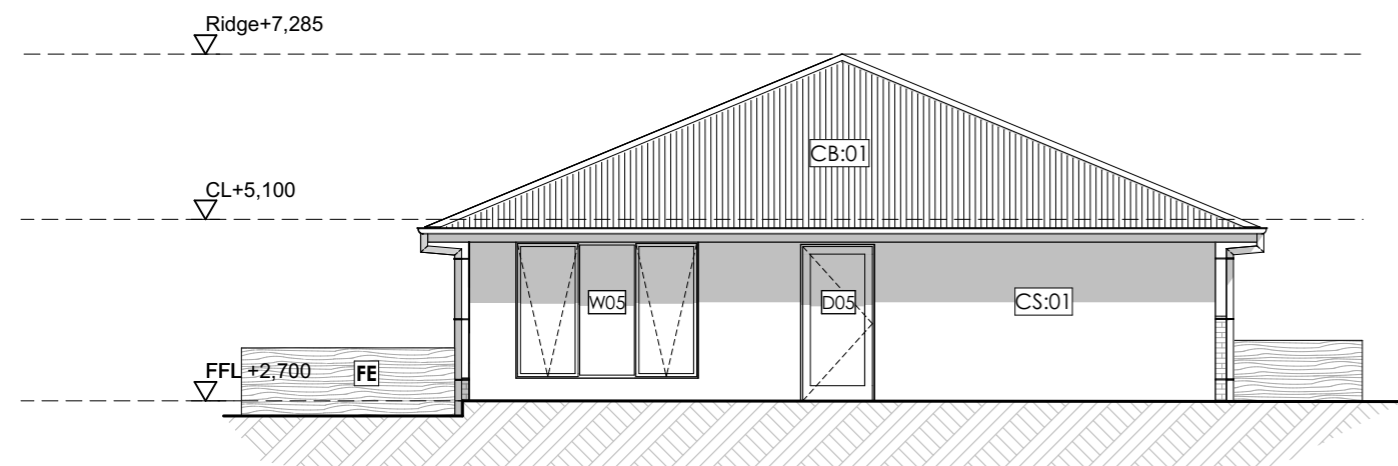
PROJECT	CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050
CLIENT	MORNING STAR HOLDINGS PTY LTD

REVISION	DATE	SCALE
	13/11/2024	AS SHOWN @ A3
PROJECT ID	CHECKED BY	DRAWN BY
2009	A.HILL	J. LIM

PAGE	NORTH
L42-A105	
LOT 42, 8 CASSYTHA CLOSE	
DRAWING	DRAWING
ELEVATION 01	



E2 EAST ELEVATION
@ A3 Scale 1:100



E3 SOUTH ELEVATION
@ A3 Scale 1:100

LEGEND & NOTES

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Kingborough Council
 Development Application: DA-2024-309
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GENERAL NOTES

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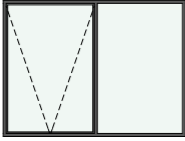



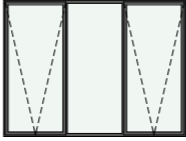

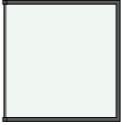





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Rev ID	Description	Date
A	WINDOW PRIVACY	13/11/2024



PROJECT	REVISION	DATE	SCALE
CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050	A	13/11/2024	AS SHOWN @ A3
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
MORNING STAR HOLDINGS PTY LTD	2009	A.HILL	J. LIM

PAGE	NORTH
L42-A106	
LOT 42, 8 CASSYTHA CLOSE	
DRAWING	ELEVATION 02


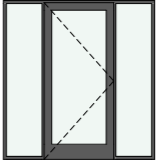
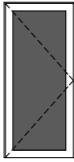
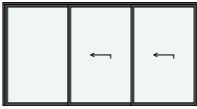
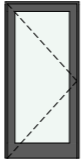
Window Types

												
ID	W01	W02	W03	W04	W05	W06	W06	W07	W08	W09	W10	W11
W x H Size	2,410×1,800	2,110×600	610×600	1,810×850	2,410×1,800	500×1,600	1,500×1,600	600×1,600	2,110×900	2,110×900	900×1,800	1,810×600
Sill Height	300	1,500	1,500	1,250	300	500	500	500	1,200	1,200	300	1,500
Opening Type	Awing	Awing	Awing	Awing	Awing	Fixed conner	Fixed conner	Fixed conner	Awing	Awing	Awing	Awing
Glazing	Clear double glazing	Clear double glazing	Frosted double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing
Frame type	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium

Window Types


		
ID	W12	W13
W x H Size	610×1,200	1,810×600
Sill Height	900	1,500
Opening Type	Awing	Awing
Glazing	Frosted double glazing	Clear double glazing
Frame type	Powdercoated Aluminium	Powdercoated Aluminium

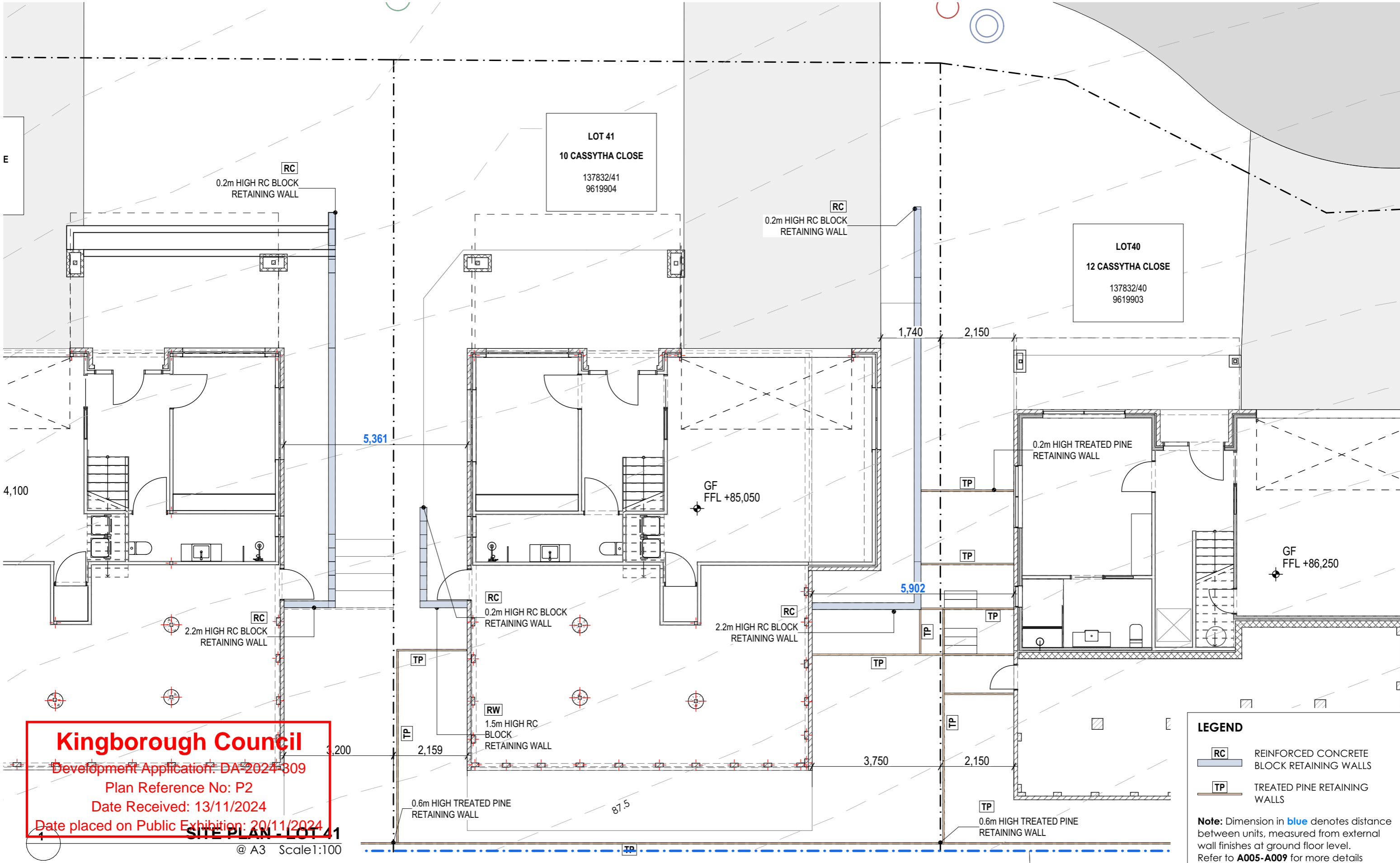
Door Types

View from Reveal Side					
ID	D01	D02	D03	D04	D05
W x H Size	5,000×2,100	2,000×2,100	900×2,040	4,000×2,100	920×2,040
Glazing	N/A	Clear double glazing	N/A	Clear double glazing	Clear double glazing
Opening Type Code	Top sliding	Swing	Swing	Sliding	Swing

Kingborough Council
 Development Application: DA-2024-309
 Plan Reference No: P2
 Date Received: 13/11/2024
 Date placed on Public Exhibition: 20/11/2024

NOTE:
*BUILT AS APPROVED UNDER DA-2021-215

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	Rev ID	Description	Date																												
PROJECT	REVISION	DATE	SCALE																												
CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050		13/11/2024	AS SHOWN @ A3																												
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MORNING STAR HOLDINGS PTY LTD	2009	A.HILL	J. LIM																												
PAGE	NORTH																														
L42-A107																															



Kingborough Council
 Development Application: DA-2024-309
 Plan Reference No: P2
 Date Received: 13/11/2024
 Date placed on Public Exhibition: 20/11/2024

LEGEND

RC REINFORCED CONCRETE BLOCK RETAINING WALLS

TP TREATED PINE RETAINING WALLS

Note: Dimension in blue denotes distance between units, measured from external wall finishes at ground floor level. Refer to **A005-A009** for more details

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Rev ID	Description	Date

PROJECT
 CASSYTHA CLOSE
 4 VILLAGE DRIVE KINGSTON TAS 7050

CLIENT
 MORNING STAR HOLDINGS PTY LTD

REVISION	DATE	SCALE

PROJECT ID	CHECKED BY	DRAWN BY
2009	A.HILL	J. LIM

PAGE
L41-A101
 LOT 41, 10 CASSYTHA CLOSE

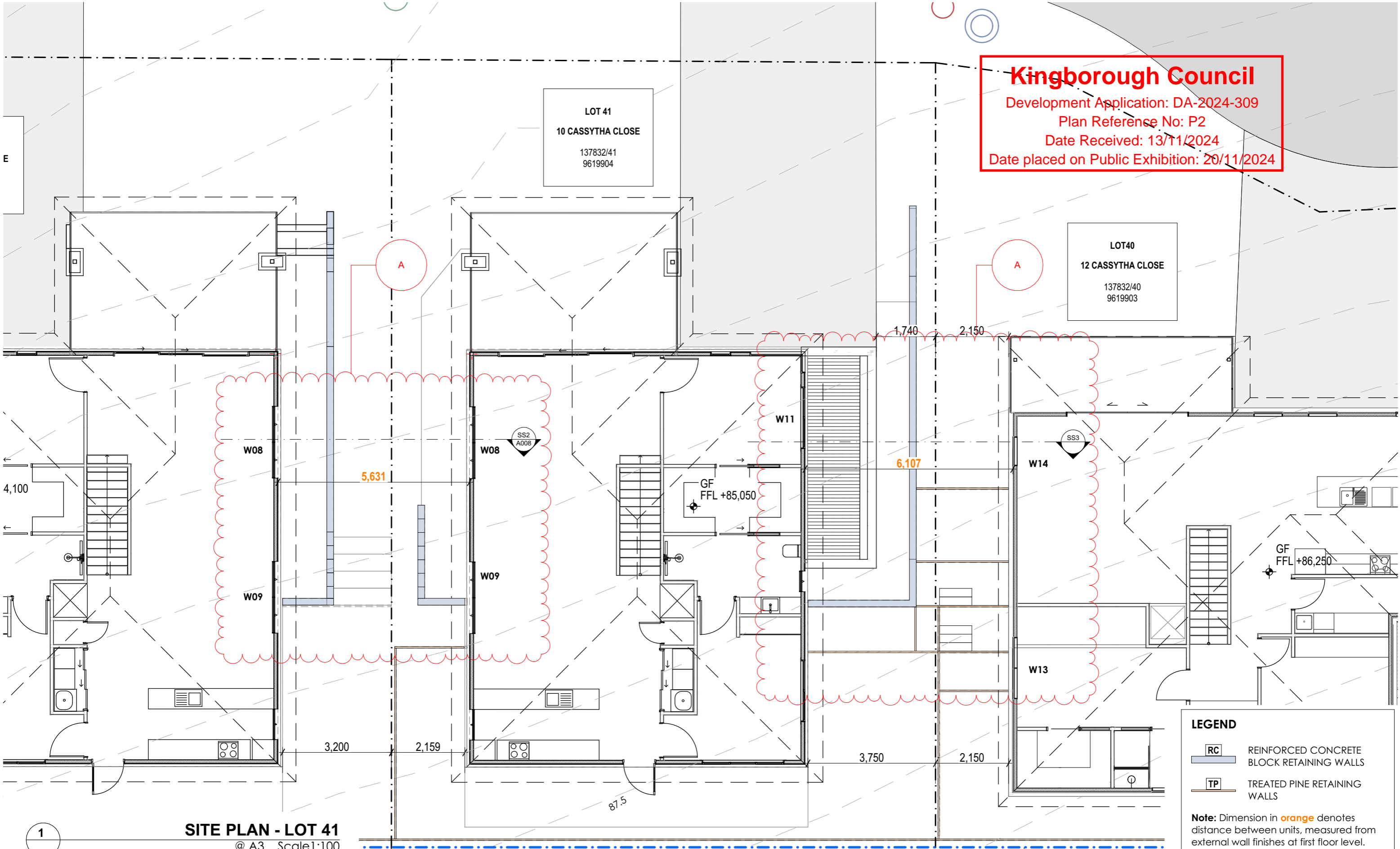
DRAWING
 SITE PLAN & CONTEXT | GF

NORTH

Kingborough Council
 Development Application: DA-2024-309
 Plan Reference No: P2
 Date Received: 13/11/2024
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LOT 41
 10 CASSYTHA CLOSE
 137832/41
 9619904

LOT40
 12 CASSYTHA CLOSE
 137832/40
 9619903



SITE PLAN - LOT 41
 @ A3 Scale:1:100

LEGEND

- RC** REINFORCED CONCRETE BLOCK RETAINING WALLS
- TP** TREATED PINE RETAINING WALLS

Note: Dimension in orange denotes distance between units, measured from external wall finishes at first floor level. Refer to **A005-A009** for more details

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Rev ID	Description	Date
A	WINDOW PRIVACY	13/11/2024

PROJECT
 CASSYTHA CLOSE
 4 VILLAGE DRIVE KINGSTON TAS 7050

CLIENT
 MORNING STAR HOLDINGS PTY LTD

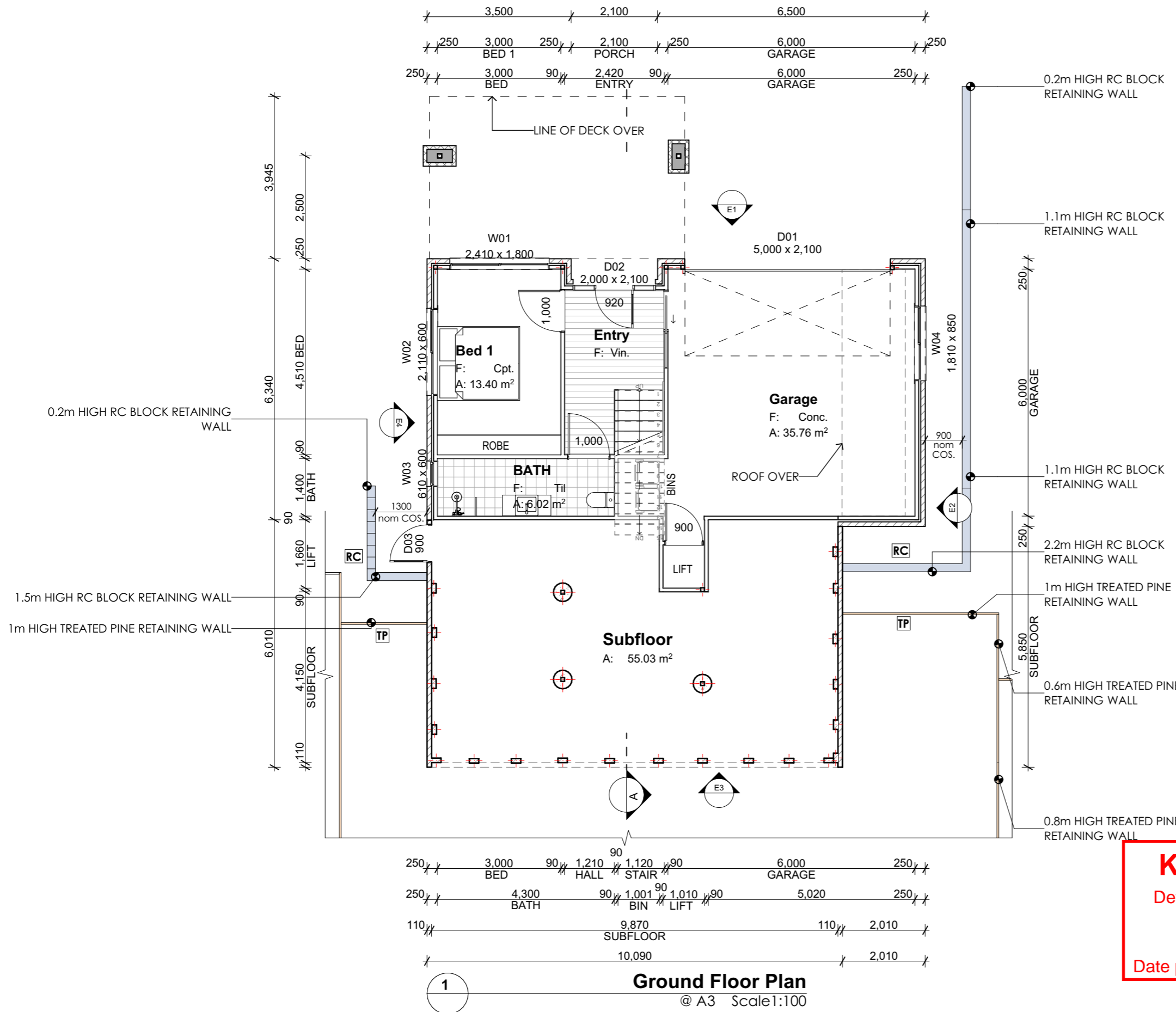
REVISION	DATE	SCALE
A	13/11/2024	AS SHOWN @ A3

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2009	A.HILL	J. LIM

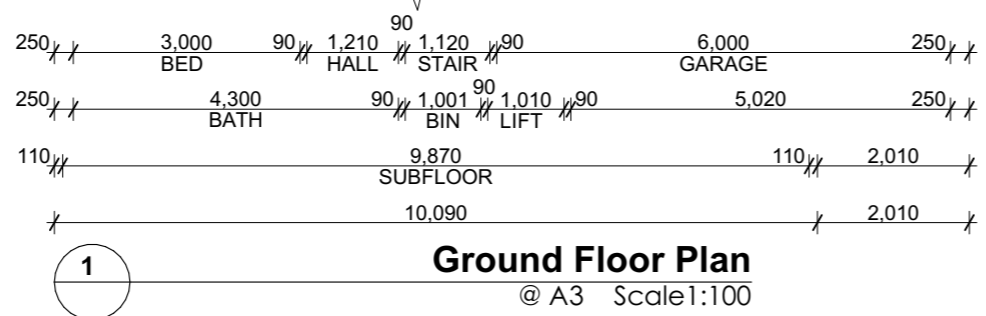
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 LOT 41, 10 CASSYTHA CLOSE

DRAWING
 SITE PLAN & CONTEXT | FF

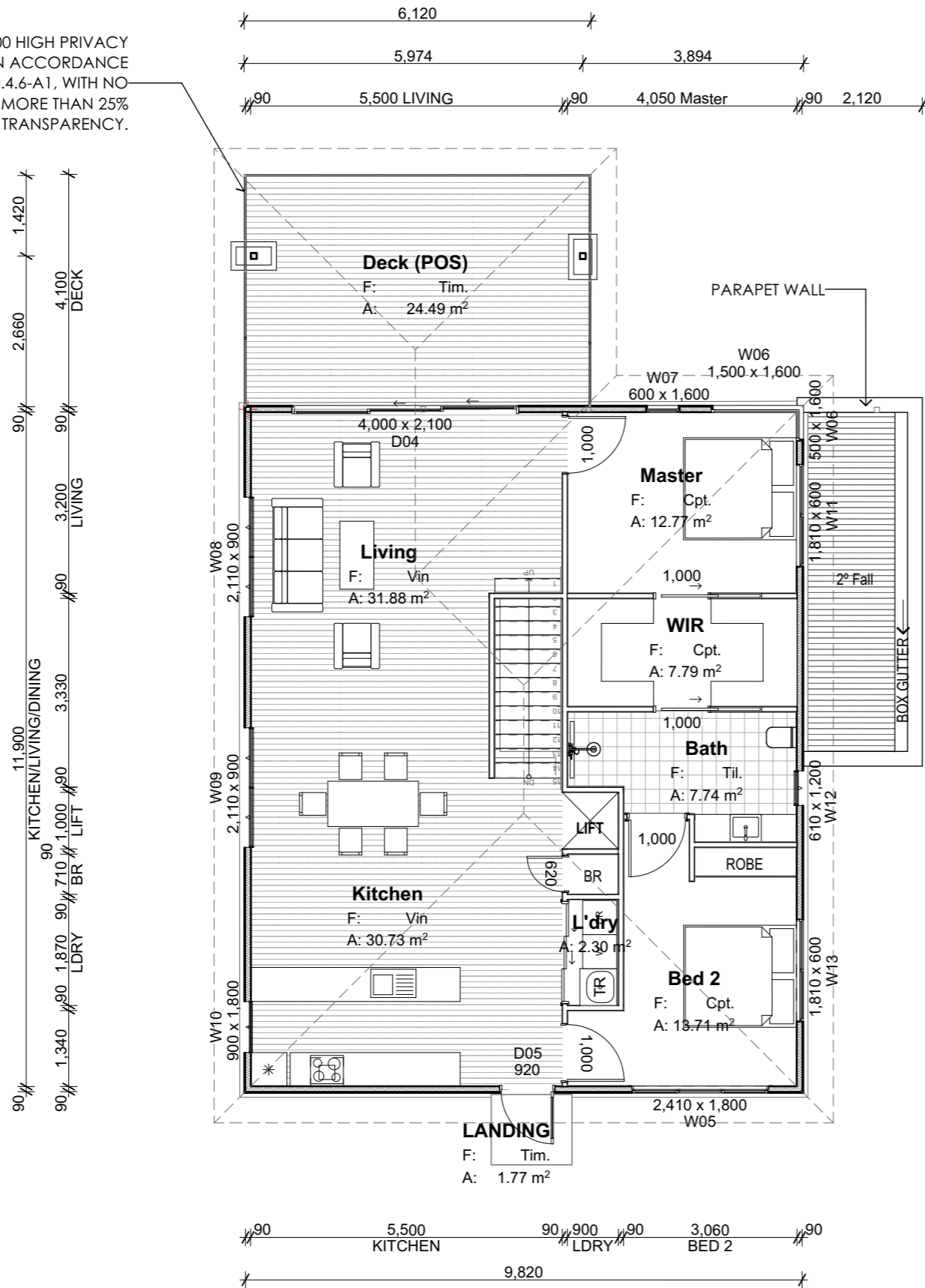
NORTH



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1700 HIGH PRIVACY SCREENING IN ACCORDANCE WITH PART 10.4.6-A1, WITH NO MORE THAN 25% TRANSPARENCY.



Room List	
Room Name	Measured Area
Bath	7.74
BATH	6.02
Bed 1	13.40
Bed 2	13.71
Deck (POS)	24.49
Entry	7.74
Garage	35.76
Kitchen	30.73
LANDING	1.77
L'dry	2.30
Living	31.88
Master	12.77
Subfloor	55.03
WIR	7.79
	251.13 m ²

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1
First Floor Plan
 @ A3 Scale 1:100

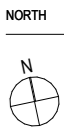
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Rev ID	Description	Date
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PAGE	NORTH
L41-A104	
LOT 41, 10 CASSYTHA CLOSE	
DRAWING	
FIRST FLOOR PLAN	

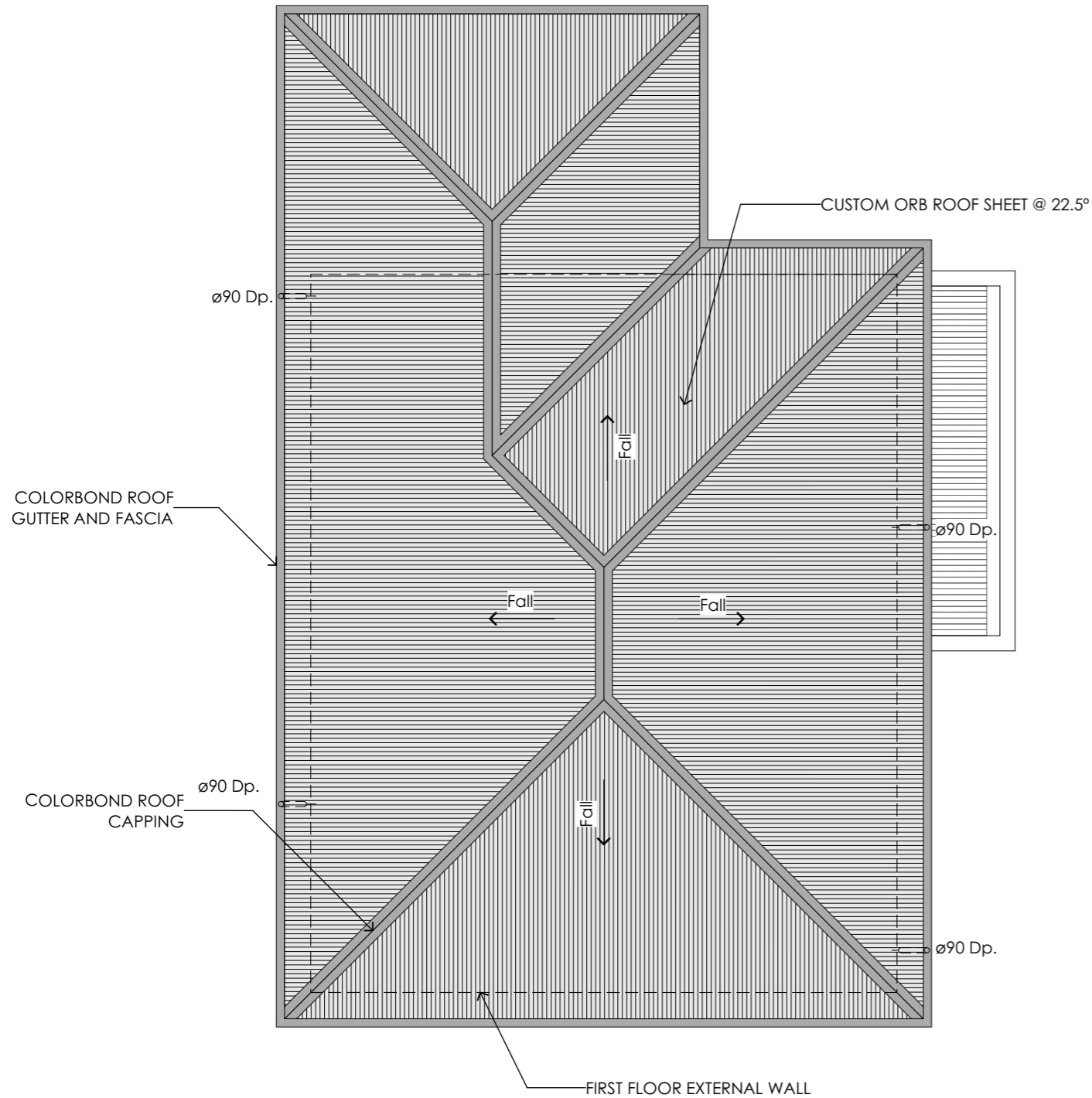


LEGEND & NOTES

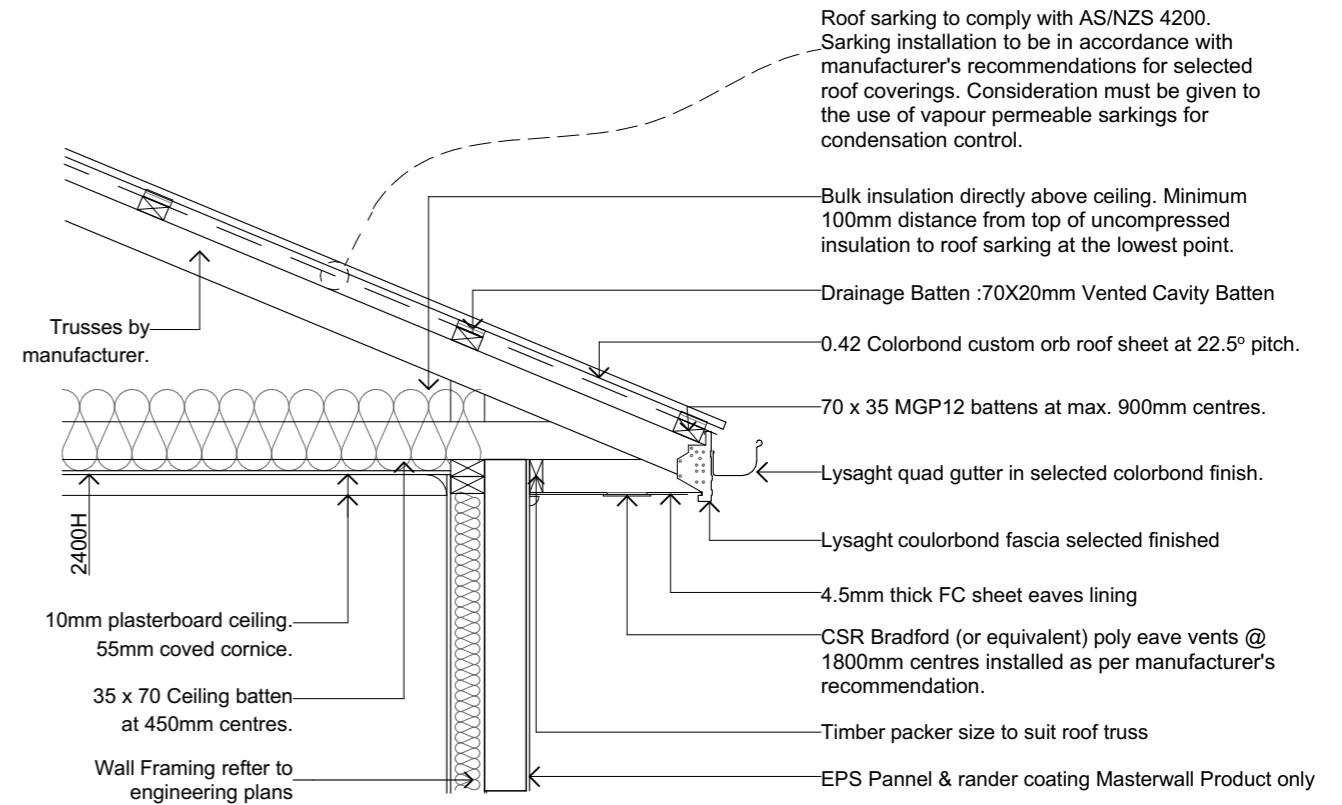
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Roof Plan
@ A3 Scale 1:100



ROOF CONDENSATION CONTROL DETAIL

NTS

Kingborough Council
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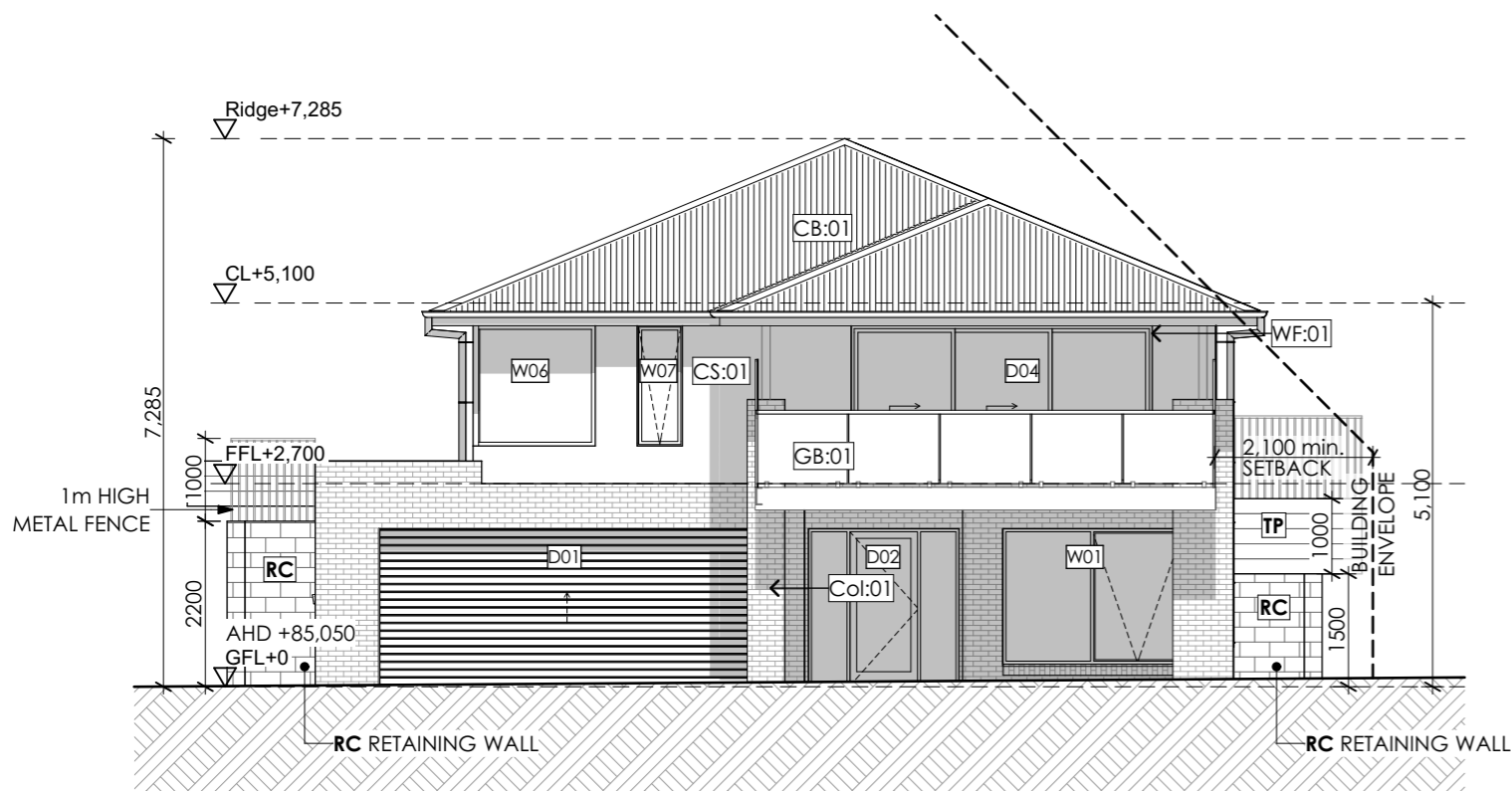
LOT 41, 10 CASSYTHA CLOSE

DRAWING

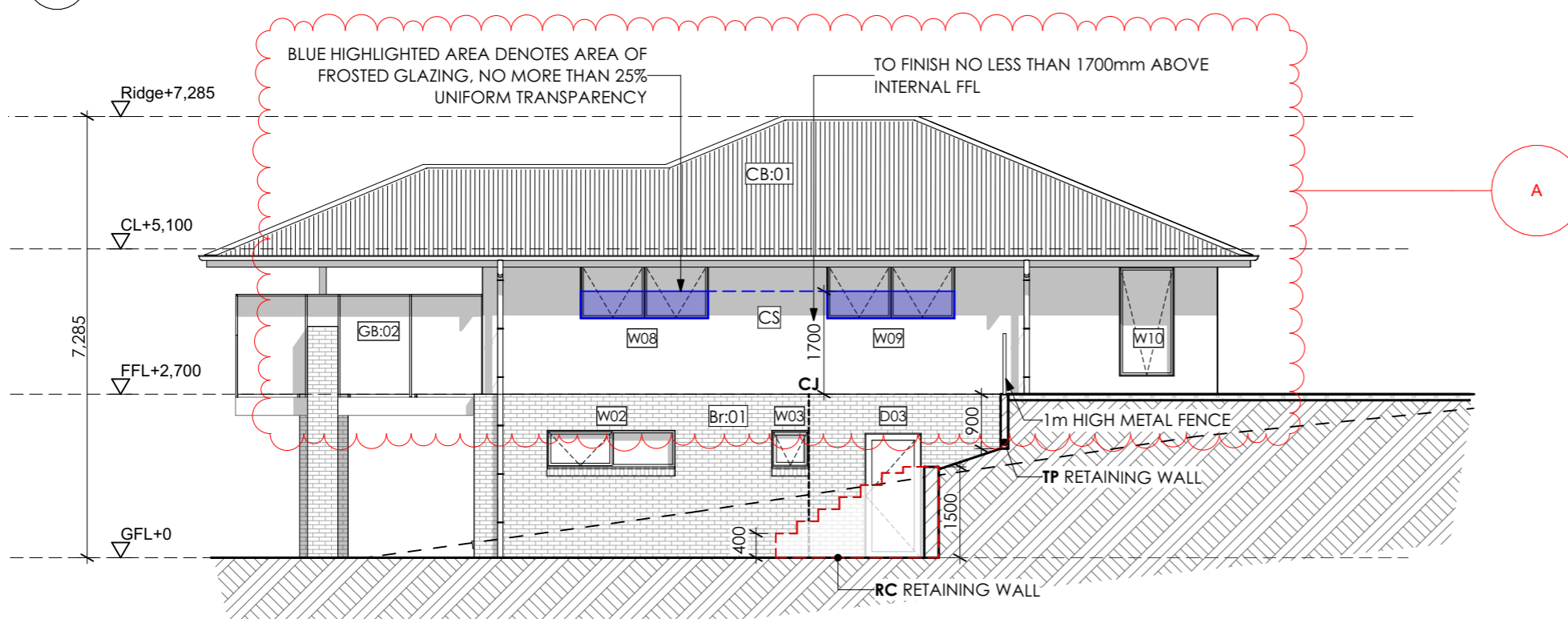
ROOF PLAN

NORTH





E1 NORTH ELEVATION
@ A3 Scale 1:100



E4 WEST ELEVATION
@ A3 Scale 1:100

LEGEND & NOTES

- DP: Downpipe
- FL: Floor level
- CL: Ceiling level
- Br:01 Face brickwork
- CB:01 Colorbond roof
- GB:01 Glass balustrade, min. 1,000mm high to comply with AS1288. 40dia. S/S handrail and verticals, supplied as a complete approved system with toughened glass and securely fixed to perimeter PFC. The complete system must be capable of bearing loading forces according to AS 1170.1
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- RW:01 190 series concrete block retaining wall
- Col:01 rendered 100 series block column
- TS:01 Timber screen
- FC:01 Fibre cement sheet cladding Render finish
- CJ Vertical articulation joints as shown or not more than 5m
- FE 1m high timber screen
- TP Treated pine retaining wall
- RC Reinforced concrete block retaining wall
- - - NGL
- FGL

Kingborough Council
 Development Application: DA-2024-309
 Plan Reference No: P2
 Date Received: 13/11/2024
 Date placed on Public Exhibition: 20/11/2024

GENERAL NOTES

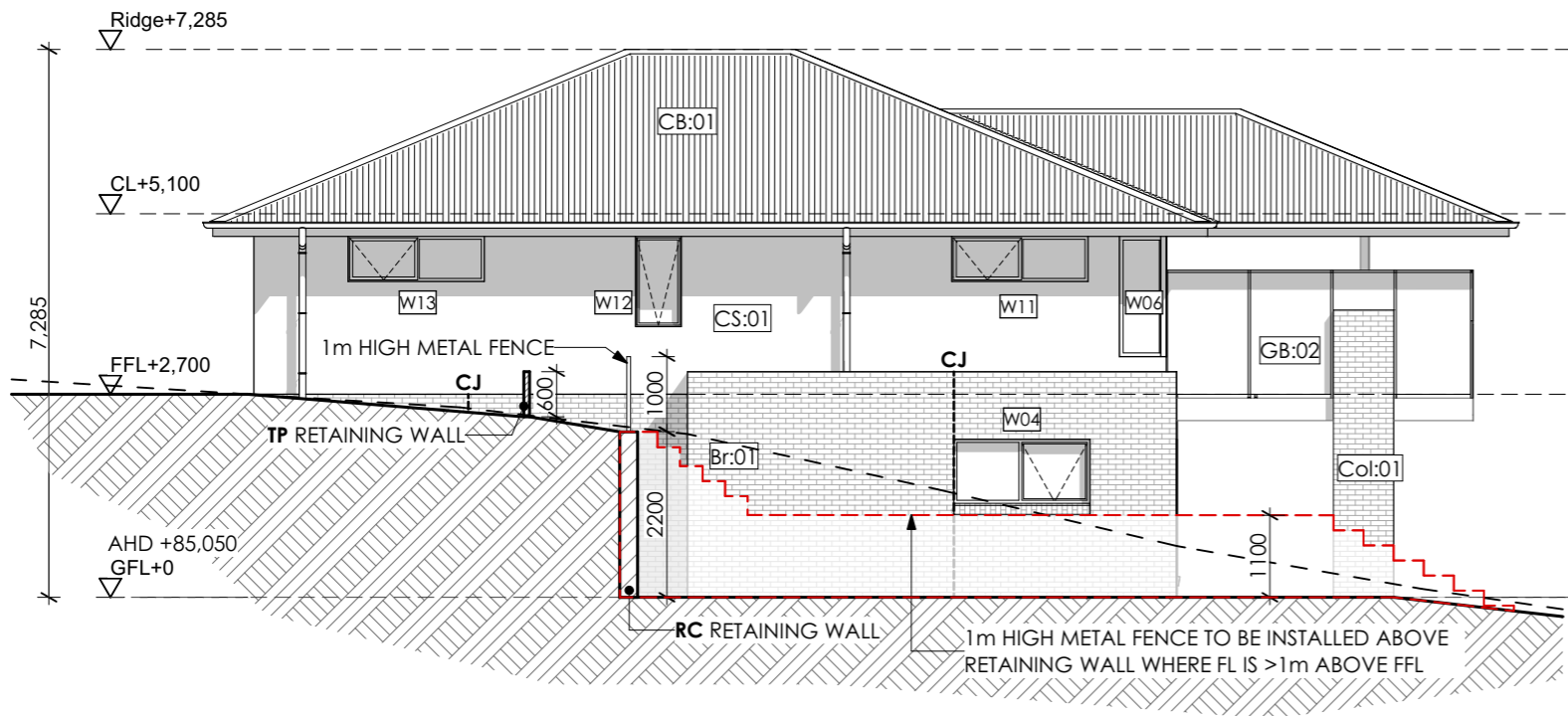
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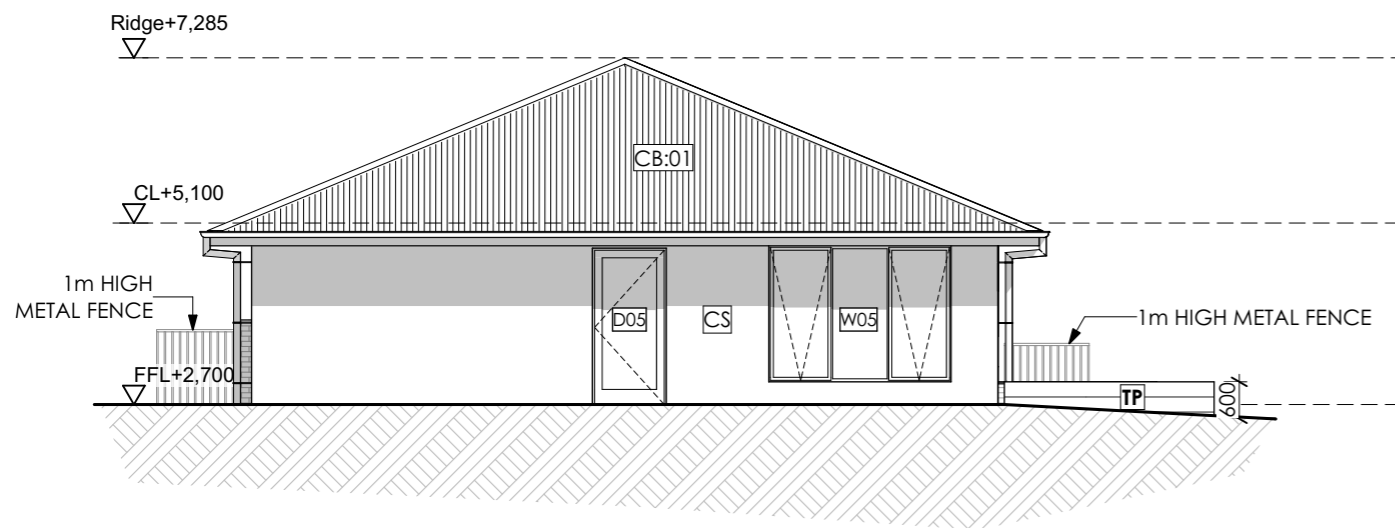
Rev ID	Description	Date
A	WINDOW PRIVACY	13/11/2024

PROJECT	REVISION	DATE	SCALE
CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050	A	13/11/2024	AS SHOWN @ A3
CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
MORNING STAR HOLDINGS PTY LTD	2009	A.HILL	J. LIM

PAGE	NORTH
L41-A106	
LOT 41, 10 CASSYTHA CLOSE	
DRAWING	
ELEVATION 01	



E2 EAST ELEVATION
@ A3 Scale 1:100



E3 SOUTH ELEVATION
@ A3 Scale 1:100

LEGEND & NOTES

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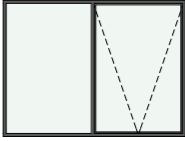



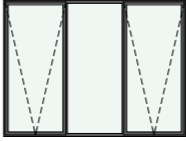





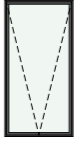

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 Development Application: DA-2024-309
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Rev ID	Description	Date



PROJECT	REVISION	DATE	SCALE
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CLIENT	PROJECT ID	CHECKED BY	DRAWN BY
MORNING STAR HOLDINGS PTY LTD	2009	A.HILL	J. LIM

PAGE	NORTH
L41-A107	
LOT 41, 10 CASSYTHA CLOSE	
DRAWING	
ELEVATION 02	


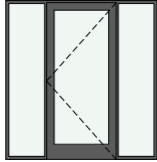
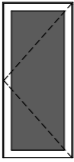
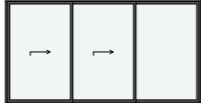
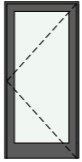
Window Types

												
ID	W01	W02	W03	W04	W05	W06	W06	W07	W08	W09	W10	W11
W x H Size	2,410×1,800	2,110×600	610×600	1,810×850	2,410×1,800	500×1,600	1,500×1,600	600×1,600	2,110×900	2,110×900	900×1,800	1,810×600
Sill Height	300	1,500	1,500	1,250	300	500	500	500	1,250	1,250	300	1,500
Opening Type	Awing	Awing	Awing	Awing	Awing	Fixed conner	Fixed conner	Fixed conner	Awing	Awing	Awing	Awing
Glazing	Clear double glazing	Clear double glazing	Frosted double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing	Clear double glazing
Frame type	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium

Window Types

		
ID	W12	W13
W x H Size	610×1,200	1,810×600
Sill Height	900	1,500
Opening Type	Awing	Awing
Glazing	Frosted double glazing	Clear double glazing
Frame type	Powdercoated Aluminium	Powdercoated Aluminium

Door Types

					
ID	D01	D02	D03	D04	D05
W x H Size	5,000×2,100	2,000×2,100	900×2,040	4,000×2,100	920×2,040
Glazing	N/A	Clear double glazing	N/A	Clear double glazing	Clear double glazing
Opening Type Code	Top sliding	Swing	Swing	Sliding	Swing

Kingborough Council
 Development Application: DA-2024-309
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NOTE:
*BUILT AS APPROVED UNDER DA-2021-214



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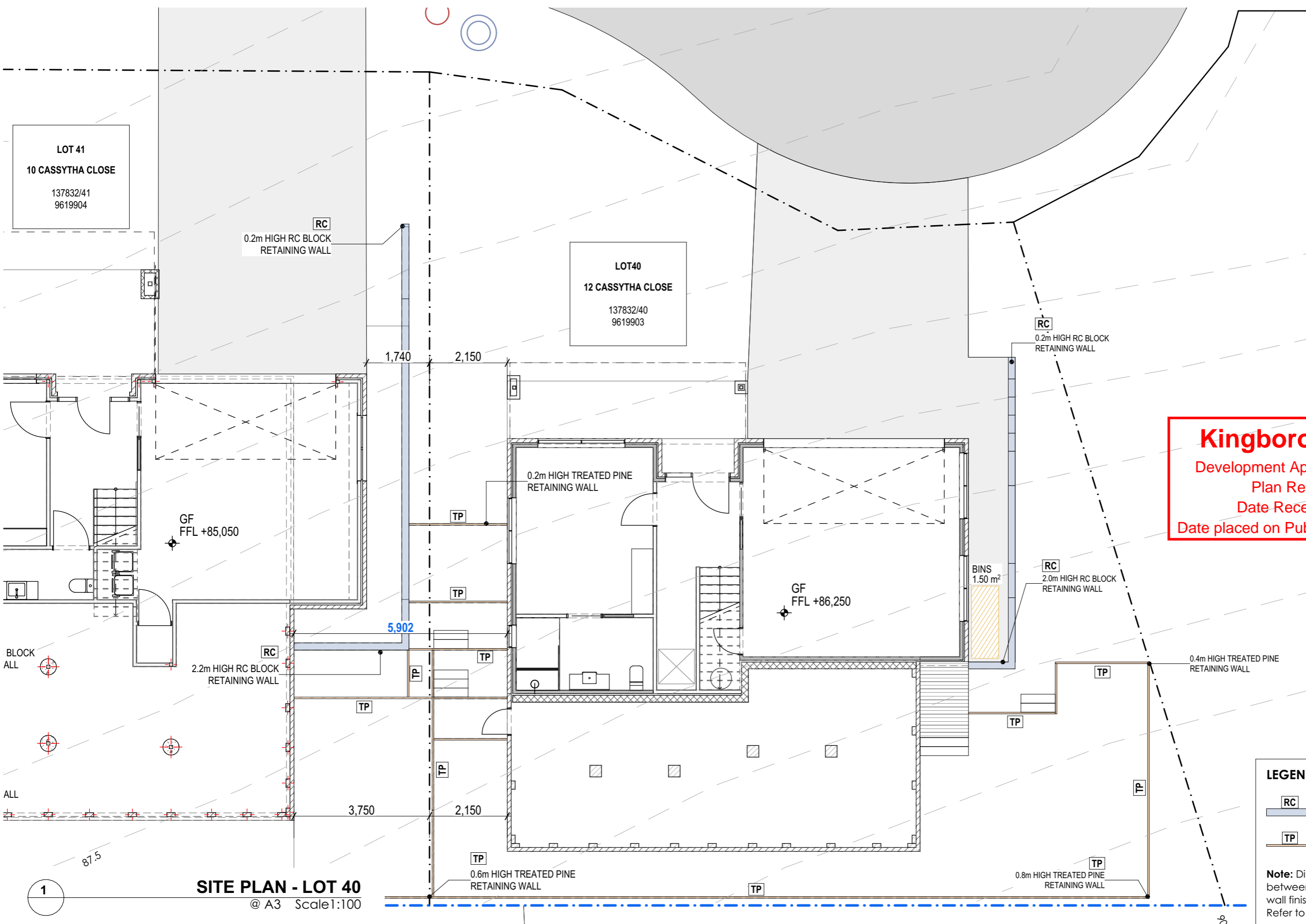
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Rev ID	Description	Date
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PROJECT	CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050
CLIENT	MORNING STAR HOLDINGS PTY LTD

REVISION	DATE	SCALE
	13/11/2024	AS SHOWN @ A3
PROJECT ID	CHECKED BY	DRAWN BY
2009	A.HILL	J. LIM

PAGE	NORTH
L41-A108	
LOT 41, 10 CASSYTHA CLOSE	
DRAWING	WINDOW & DOOR SCHEDULE



Kingborough Council
 Development Application: DA-2024-309
 Plan Reference No: P2
 Date Received: 13/11/2024
 Date placed on Public Exhibition: 20/11/2024

SITE PLAN - LOT 40
@ A3 Scale:1:100

LEGEND

RC REINFORCED CONCRETE BLOCK RETAINING WALLS

TP TREATED PINE RETAINING WALLS

Note: Dimension in **blue** denotes distance between units, measured from external wall finishes at ground floor level. Refer to **A005-A009** for more details

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CLIENT	MORNING STAR HOLDINGS PTY LTD

REVISION		DATE	13/11/2024
PROJECT ID	2009	CHECKED BY	A.HILL

SCALE	AS SHOWN @ A3
DRAWN BY	J. LIM

PAGE

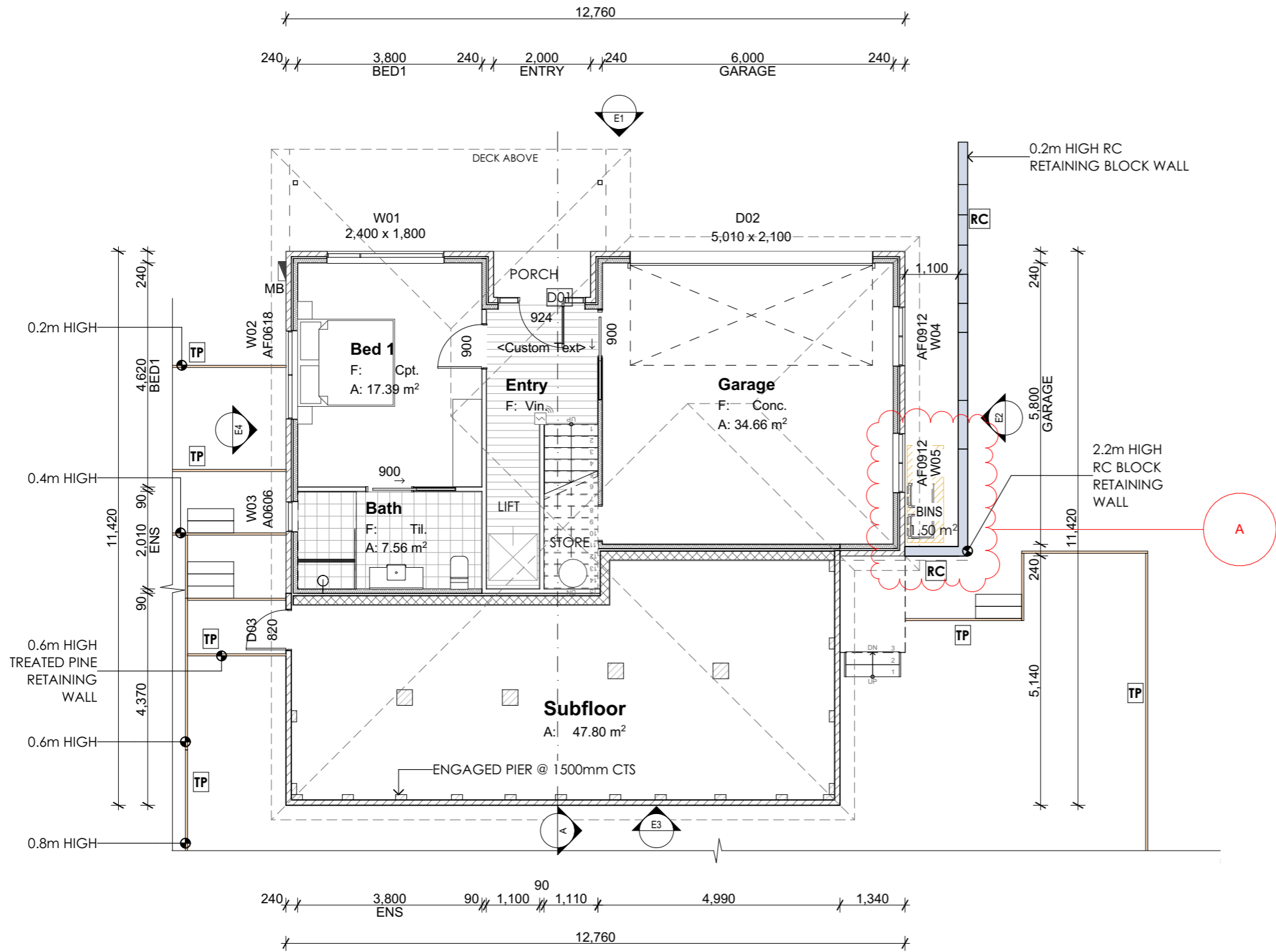
L40-A101

LOT 40, 12 CASSYTHA CLOSE

DRAWING

SITE PLAN & CONTEXT | GF

NORTH



Room List	
Room Name	Measured Area
Bath	7.56
Bed 1	33.49
Bed 2	16.50
Deck	14.68
Dining	12.46
Ens.	7.07
Entry	13.67
Garage	34.66
Hall	8.22
Kitchen	19.49
L'dry	5.86
Living	27.39
Subfloor	47.80
WIR	4.62
	253.47 m²

LEGEND	
	TREATED PINE RETAINING WALL
	REINFORCED CONCRETE BLOCK RETAINING WALL
nom	NOMINAL
COS	CONFIRM ON SITE

Kingborough Council
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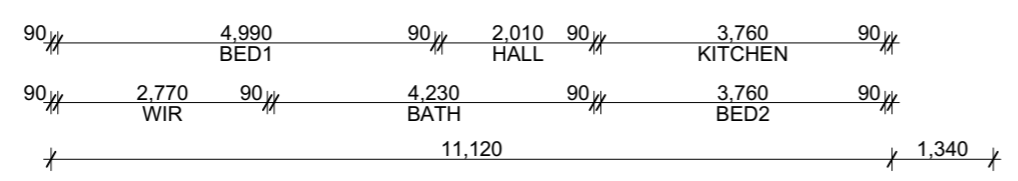
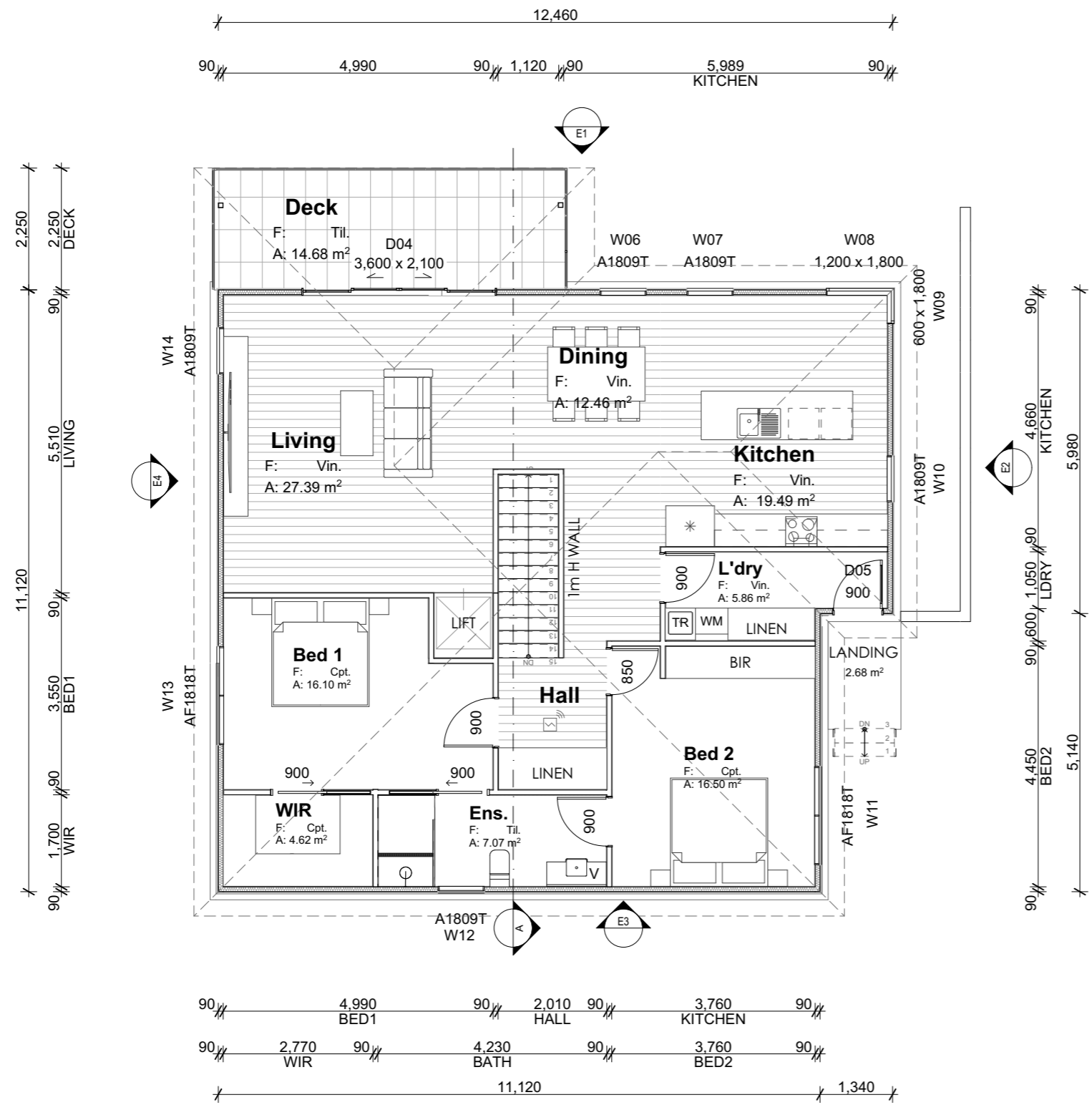
1
Ground Floor Plan
 @ A3 Scale 1:100

Rev ID	Description	Date
A	WASTE STORAGE	13/11/2024

PROJECT	CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050
CLIENT	MORNING STAR HOLDINGS PTY LTD

REVISION	DATE	SCALE
A	13/11/2024	AS SHOWN @ A3

CHECKED BY	A.HILL	DRAWN BY	J. LIM
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LEGEND

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	REINFORCED CONCRETE BLOCK RETAINING WALL
nom	NOMINAL
COS	CONFIRM ON SITE

Kingborough Council
 Development Application: DA-2024-309
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1
First Floor Plan
 @ A3 Scale 1:100

Rev ID	Description	Date

PROJECT	REVISION	DATE	SCALE
CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050		13/11/2024	AS SHOWN @ A3
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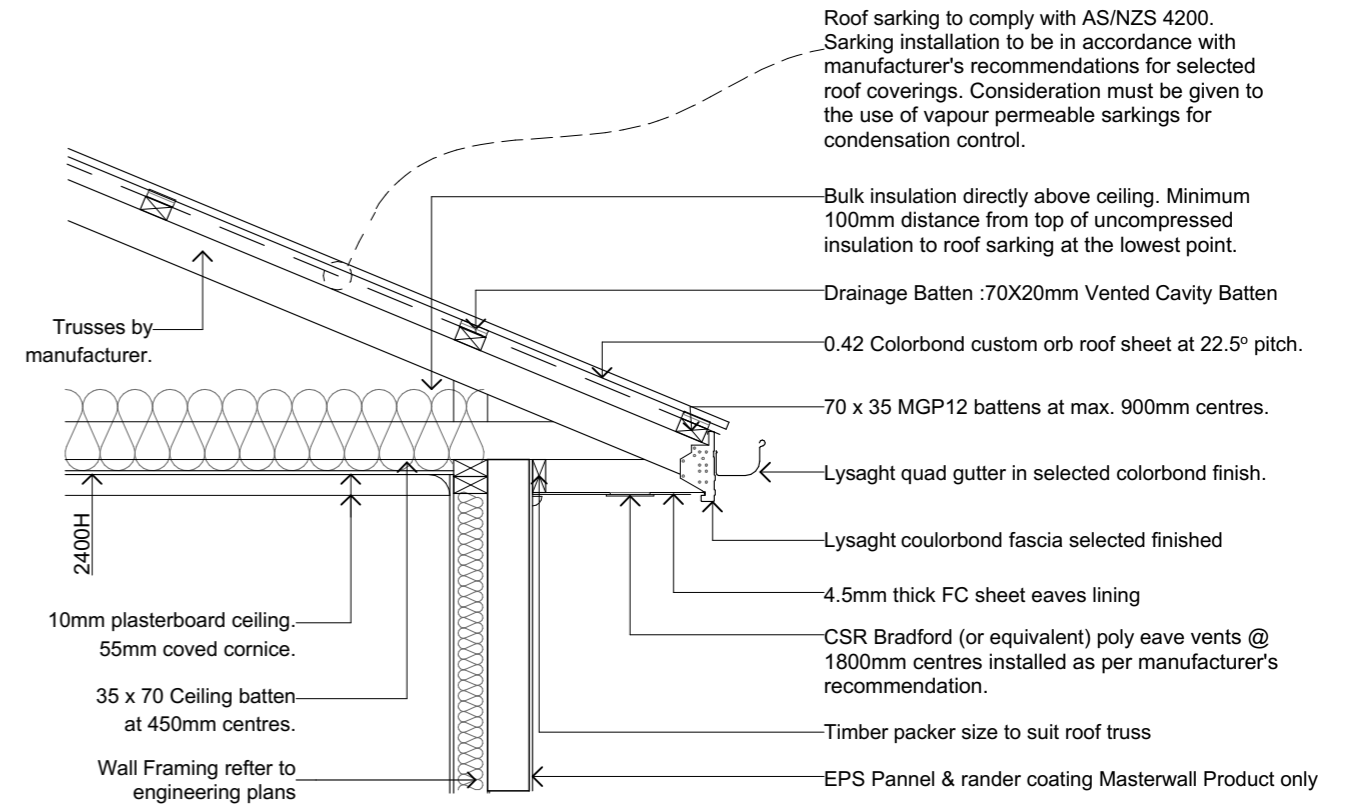
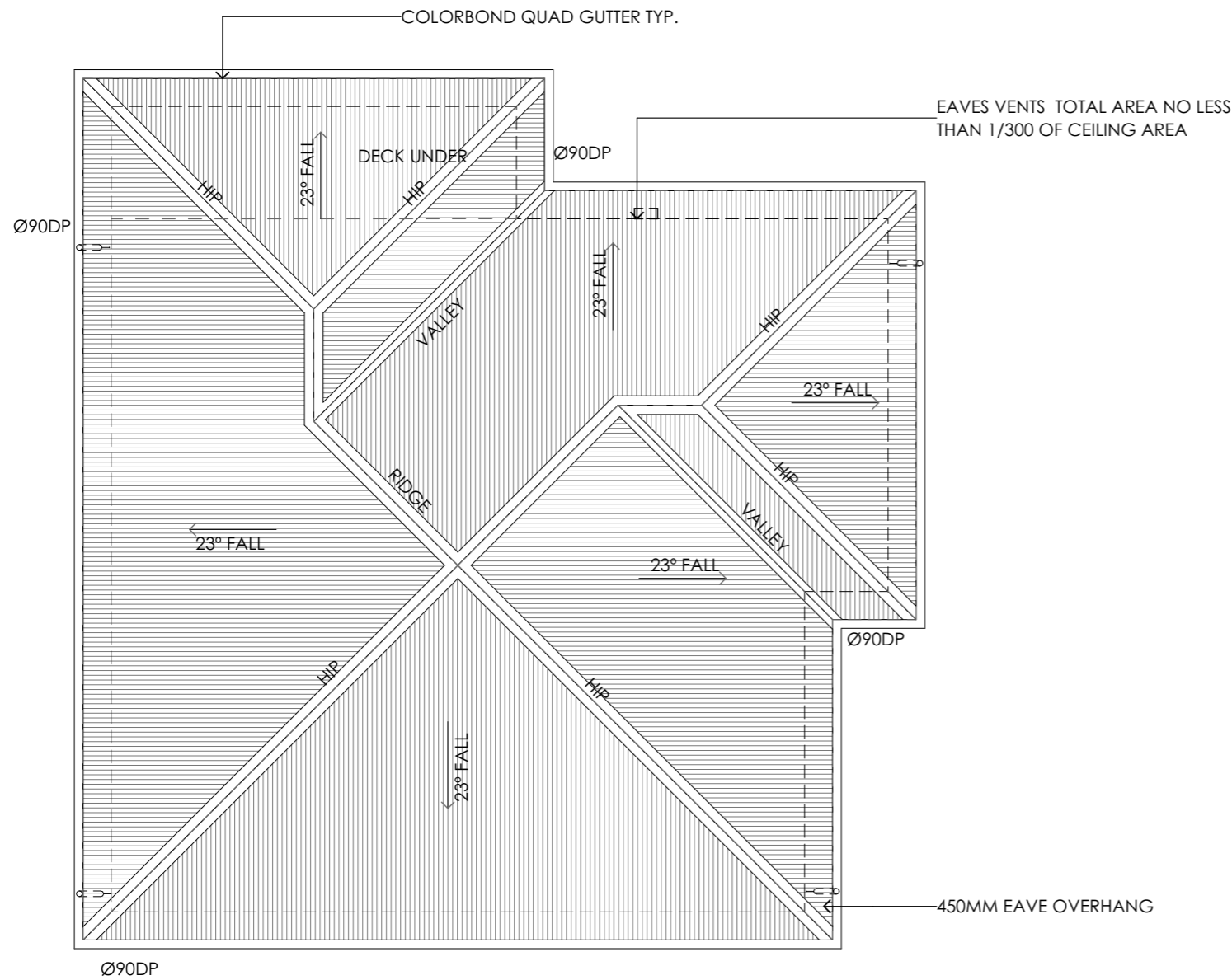
REVISION	DATE	SCALE

LEGEND & NOTES

DP. Downpipe 90dia PVC downpipe

NOTES:

1. GUTTERS MUST BE INSTALLED WITH A FALL OF NOT LESS THAN 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS; AND 1:100 FOR BOX GUTTERS



ROOF CONDENSATION CONTROL DETAIL

NTS

Kingborough Council
 Development Application: DA-2024-309
 Plan Reference No: P2
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AS3500.3 - STORMWATER DRAINAGE		
Rc	Roof Catchment Area	195.81m ²
	Roof Pitch	22.5 deg Rc x 1.21 slope factor = 236.93m ² (TABLE 3.2)
	Design Rainfall (100yr 5 min Duration)	116L/s (NCC Vol 2 Part 3.5.2.5)
	Downpipe Crossover	90dia - 6400 - (TABLE 3.3)
C	Max Catchment Area per Downpipe	64m ² (FIG 3.5 (A))
	Number Downpipes Required	Rp / C = 3.70
	Number Downpipes Provided	4 (rounded up)

1

Roof Plan
1:100

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Rev ID	Description	Date
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PROJECT
 CASSYTHA CLOSE
 4 VILLAGE DRIVE KINGSTON TAS 7050

CLIENT
 MORNING STAR HOLDINGS PTY LTD

REVISION	DATE
	13/11/2024

PROJECT ID	CHECKED BY
2009	A.HILL

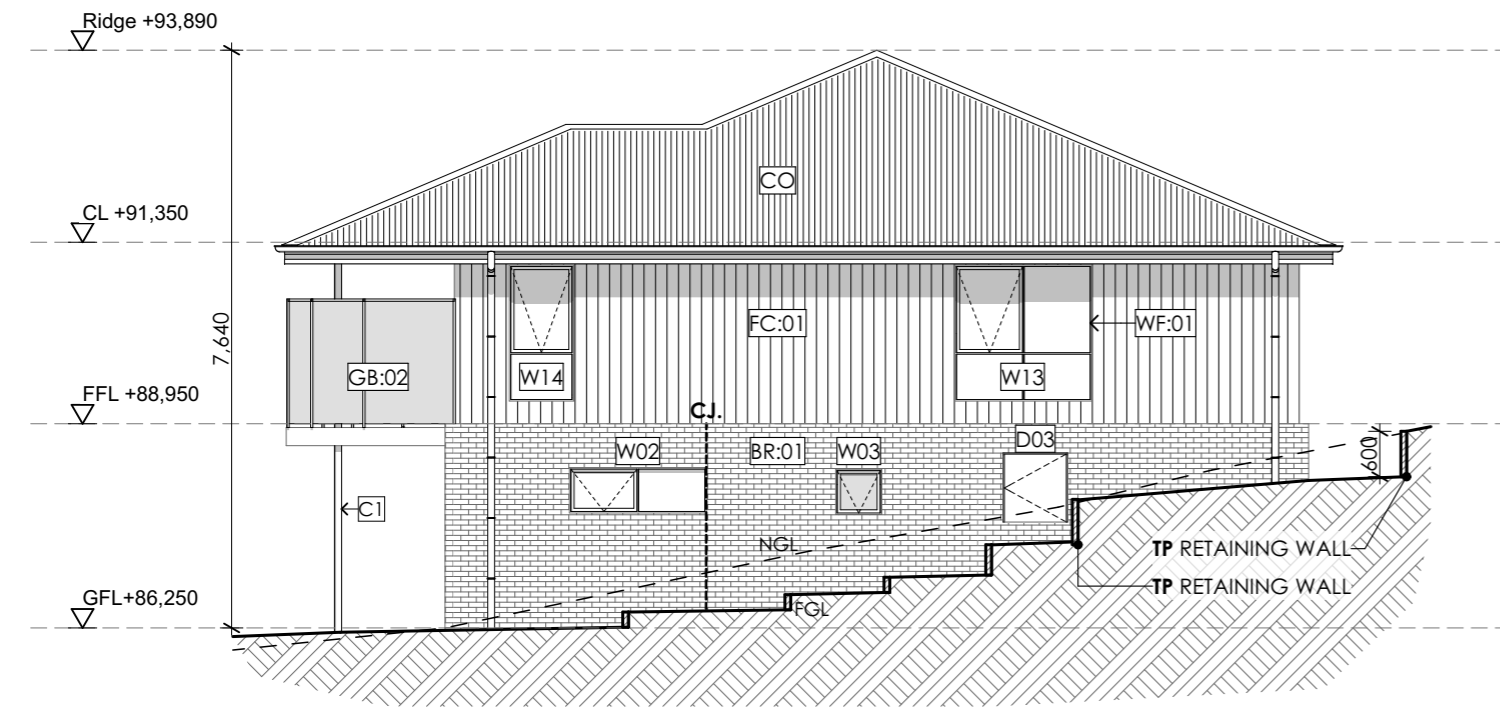
SCALE
AS SHOWN @ A3

DRAWN BY
J. LIM

PAGE	NORTH
L40-A104	
LOT 40, 12 CASSYTHA CLOSE	
DRAWING	
ROOF PLAN	



E1 **NORTH ELEVATION**
@ A3 Scale 1:100



E4 **WEST ELEVATION**
@ A3 Scale 1:100

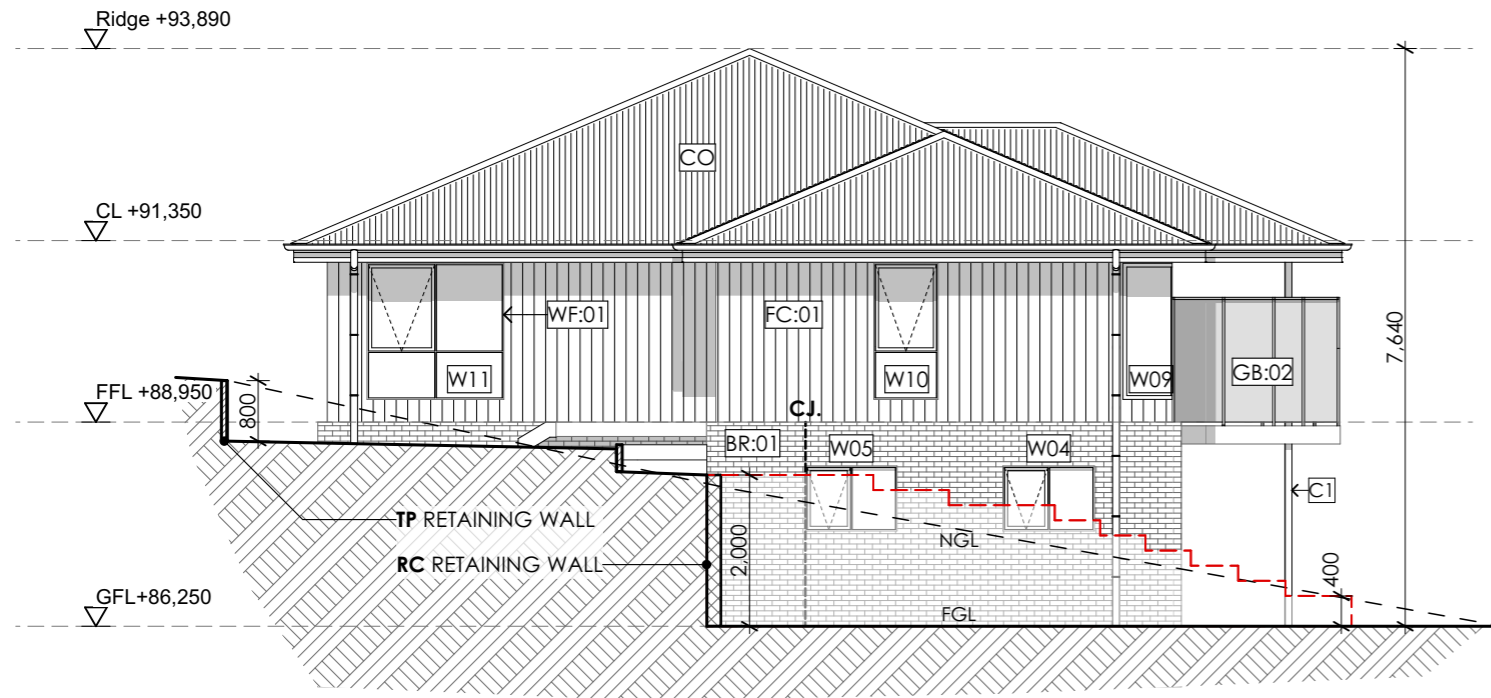
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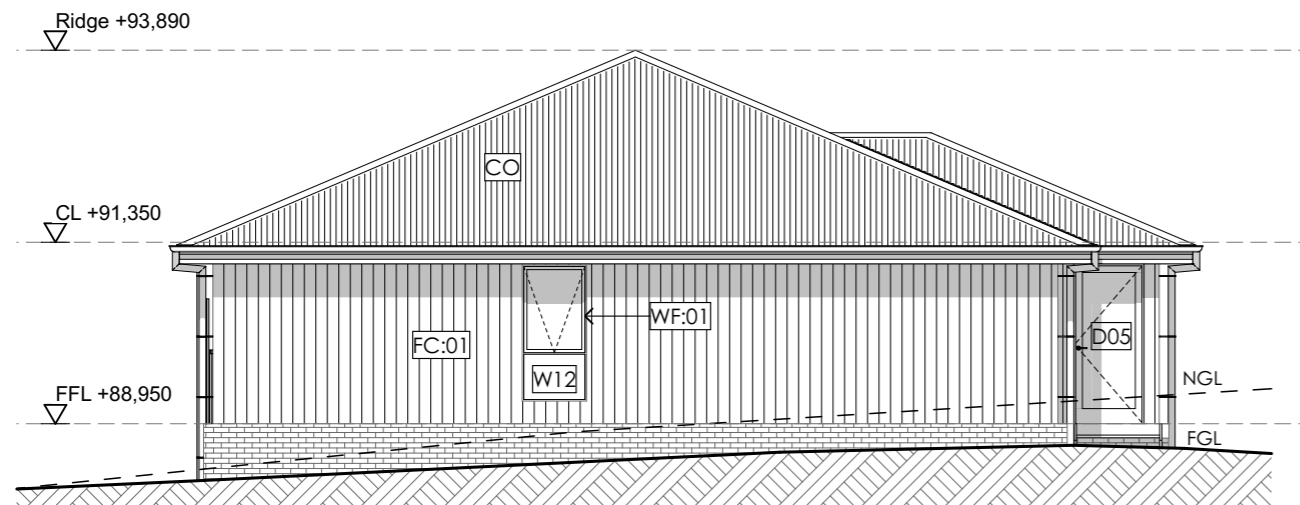
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E2 EAST ELEVATION
@ A3 Scale 1:100



E3 SOUTH ELEVATION
@ A3 Scale 1:100

LEGEND & NOTES

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PAGE	NORTH
L40-A106	
LOT 40, 12 CASSYTHA CLOSE	
DRAWING	
ELEVATION 02	

Glazing Schedule

ID	D01	D02	D03	D04	D05	W01	W02	W03	W04
W x H Size	900×2,060	5,010×2,100	820×900	3,600×2,100	900×2,100	2,400×1,800	1,810×600	610×600	1,210×860
Sill Height	0	0	1,400	0	0	300	1,520	1,500	1,260
Opening Type	Swing	Roller	Swing	Sliding	Swing	Fixed/Awning	Fixed/Awning	Fixed/Awning	Fixed/Awning
Glazing	Frosted Double Glazing	N/A	Clear Double Glazing	Clear Double Glazing	Clear Double Glazing	Clear Double Glazing	Clear Double Glazing	Frosted Double Glazing	Clear Double Glazing
Frame Type	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium

Glazing Schedule

ID	W05	W06	W07	W08	W09	W10	W11	W12	W13
W x H Size	1,210×860	850×1,800	850×1,800	1,200×1,800	600×1,800	850×1,800	1,810×1,800	850×1,800	1,810×1,800
Sill Height	1,260	300	300	300	300	300	300	300	300
Opening Type	Fixed/Awning	Fixed/Awning	Fixed/Awning	Fixed	Fixed	Fixed/Awning	Fixed/Awning	Fixed/Awning	Fixed/Awning
Glazing	Clear Double Glazing	Clear Double Glazing	Clear Double Glazing	Clear Double Glazing	Clear Double Glazing	Clear Double Glazing	Clear Double Glazing	Clear Double Glazing	Frosted Double Glazing
Frame Type	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium	Powdercoated Aluminium

Glazing Schedule

ID	W14
W x H Size	850×1,800
Sill Height	300
Opening Type	Fixed/Awning
Glazing	Clear Double Glazing
Frame Type	Powdercoated Aluminium

Kingborough Council
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 Date placed on Public Exhibition: 20/11/2024

GENERAL NOTES

CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCEMENT OF ANY WORK. CONTRACTORS SHALL CLARIFY ANY DISCREPANCIES BEFORE COMMENCEMENT OF ANY WORK. DRAWINGS MUST NOT BE SCALED.
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Rev ID	Description	Date
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PROJECT	CASSYTHA CLOSE 4 VILLAGE DRIVE KINGSTON TAS 7050
CLIENT	MORNING STAR HOLDINGS PTY LTD

REVISION	
DATE	13/11/2024
CHECKED BY	A.HILL
PROJECT ID	2009

SCALE	AS SHOWN @ A3
DRAWN BY	J. LIM