

APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2024-300
Proposal: Extension and alterations to dwelling
Subject Site: 35 Coolamon Road, Tarooma
Responsible Planning Officer: Sadhana K C

Advertised Documents:

- Application Plans

Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **22 November 2024**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.



Kingborough Council

Development Application: DA-2024-300

Plan Reference No: P3

Date Received: 4/11/2024

Date placed on Public Exhibition: 9/11/2024

e a d e s i o n

**35 COOLAMON ROAD, TAROONA
HOUSE ALTERATION AND EXTENSION**

WIND CLASSIFICATION: - N3
TITLE REFERENCE: - CT 42011/2
SOIL CLASSIFICATION: - S
CLIMATE ZONE: - 7
BAL RATING - low

DRAWING LIST

A01 COVER SHEET
A02 NOTE SHEET
A03 SITE PLAN
A04 EXISTING AND DEMOLITION PLAN
A05 GROUND FLOOR PLAN
A06 DIMENSIONAL LAYOUT
A07 ROOF PLAN
A08 SOUTH ELEVATION
A09 EAST ELEVATION
A10 NORTH ELEVATION
A11 SECTION A
A12 SECTION B
A13 SECTION C

gregory eade building design

26 browne street, west hobart 7000
mobile: 0427 871723
email: greg@eadesign.com.au
accreditation: CC1133F
ABN number: 34985528960
client: darren harris

NOTES

1. ALL WORK TO COMPLY WITH THE NCC 2022 VOLUME 2 COMBINED WITH ABCB HOUSING PROVISIONS STANDARD.
2. MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE RELEVANT S.A.A. CODES AND TO COUNCIL APPROVAL.
3. ALL TIMBER TO BE NEW AND FREE FROM DEFECTS. ALL FRAMING SHALL COMPLY WITH A.S. 1684. TIMBER TO BE GRADE F17 AND NEW STUD WALLS TO BE 90 x 45 F17 @ 450 CRS. UNLESS NOTED OTHERWISE.
4. PLASTERBOARD TO BE 10mm TO INTERNAL WALLS AND 13mm TO CEILINGS. WATER RESISTANT VILLABOARD TO ALL WET AREAS.
5. BUILDING TO COMPLY TO NCC ENERGY EFFICIENCIES PART 13.2 (BUILDING FABRIC) 13.3 (EXTERNAL GLAZING) AND 13.4 (BUILDING SEALING) TO MAKE BUILDING AIRTIGHT. EXTERNAL DOORS TO HAVE RAVEN SEALS OR SIMILAR APPROVED:
 - RP20 TOP & SIDES
 - RP3 BOTTOM
 - RP2A SLIDING DOORS
6. PROVIDE IMPERVIOUS WALLS AND FLOOR FINISHES TO ALL WET AREAS. SUBSTRATES, FINISHES, SPLASHBACKS & SEALING TO COMPLY WITH NCC PART 10.2.1 (WET AREAS) AND 10.2.2 SHOWERS, BATHS, FLOORING, WALLS, SEALING, WATERPROOF MEMBRANES AND OTHER WET AREAS. SPLASHBACKS 200 MIN. ABOVE BASINS/ SINK. ENCLOSED SHOWER WITHOUT HOB TO BE WATERPROOFED OVER THE ENTIRE ENCLOSED SHOWER AREA INCLUDING WATERSTOP. WATERPROOF TO NOT LESS THAN 150mm ABOVE THE SHOWER FLOOR SUBSTRATE WITH THE REMAINDER BEING WATER RESISTANT TO A HEIGHT OF 1800mm ABOVE FINISHED FLOOR LEVEL. JOISTS TO BE 250 MAX CRS. SUBSTRATE TO BE 18mm CEMENT SHEET. ALL JOINTS SEALED. WATERPROOFING TO BE SIKA OR APPROVED EQUIVALENT. ALL CORNERS - INTERNAL, EXTERNAL, HORIZONTAL - TO BE WATERPROOFED 40mm WIDE TO 1800MM ABOVE FLOOR LEVEL
7. STRUCTURAL DESIGN
ALL ENGINEERING DESIGN INCLUDING HOLD DOWN DETAILS, BRACING, LINTELS & FRAMING BY JOHNSTONE, McGEE & GANDY.
8. SMOKE DETECTORS / ALARM ARE TO BE INSTALLED IN ACCORDANCE WITH NCC PART 9.5 SMOKE DETECTORS MUST BE INTER-CONNECTED & CONNECTED TO MAINS POWER AND INSTALLED IN CEILINGS IN LOCATIONS SHOWN THUS ON PLANS. WIRED IN SMOKE DETECTORS/ ALARMS TO COMPLY WITH A.S. 3786.
9. GLAZING TO BE TOUGHENED 5mm MIN. THICK. WHERE REQUIRED TO DECK AREA, TO COMPLY WITH AS. 12.88 - 2006 & A.S. 2047 & TO NCC PART 8.3. & TO BE DOUBLE GLAZED THROUGHOUT TO COMPLY WITH THE ENERGY ASSESSMENT 6 STAR MIN. RATING.

ALL WINDOWS CLEAR (C.) UNLESS SHOWN 'O.' = OPAQUE

10. INSULATION TO BE TO NCC PART 13.2
EXISTING INSULATION
ceiling space - batts R2.5
walls - timber stud weatherboard , no insulation
floor - timber floor over timber joists, no insulation

NEW INSULATION EXTENSION
ROOF - R4.1 ENVIROSEAL PROCTORWRAP HTR vapour permeable over timber battens but under PROCTOR PASSIVE DRAINAGE BATTEN DB-FR & installed to manufacturer's specification to reduce condensation . R4.1 bulk insulation -BRADFORD GOLD CEILING BATTS HP - 215 THICK)
EXTERNAL WALLS (STUD) - PROCTORWRAP RW building sheet over studs/ 90 thick R2.5 BRADFORD GOLD HP BATTS with 19 thick vertical battens over sheet on stud and 35 thick horizontal batten. cladding fixed to 35 batten
INTERNAL WALLS including wall between laundry to living/ ensuite to bed 1/ ensuite to bed 4/ pantry to kitchen & dining to have R 2.0 BATTS IN STUD WALLS.
UNDER BOX GUTTER : install 50mm XPS R1.5
UNDER FLOOR
slab on grade - 50mm XPS R1.8 under & sides of new slab existing timber floor - R2.5 BATTS
11. ALL STAIRS TO HAVE NON-SLIP NOSING TO COMPLY WITH NCC PART 11.2 11.3. HANDRAIL 900 ABOVE NOSING - MIN 30 DIA AND 50 CLEAR OF SIDE WALL.
12. DRAINAGE / PLUMBING
INSTALL ALL PLUMBING TO TASMANIA PLUMBING REGULATIONS A.S.3500 AND TO LOCAL COUNCIL APPROVAL.
INSTALL 'RMC' TYPE TEMPERING VALVE TO HWC. TEMPERATURE FROM HWC OUTLET TO BE MINIMUM 60° C. TEMPERATURE AT SANITARY FIXTURE OUTLETS TO BE MAXIMUM 50° C.
13. NO CEILING PENETRATIONS FOR LIGHTING. ALL LIGHTING TO BE SURFACE MOUNTED. ALL EXHAUST FANS AND VENTILATING RANGE HOOD TO RUN TO OUTSIDE AND TO BE FITTED WITH SELF CLOSING DAMPER, FILTER OR THE LIKE TO A.S. PART 3.12.3.4
14. SUB FLOOR CROSS VENTILATION FOR SUSPENDED TIMBER FLOOR TO BE 6000 sq. mm per METRE LENGTH OF WALL AS PER NCC PART 6.2.1 THRESHOLDS TO BE NON-COMBUSTIBLE

LOT AREA (EXISTING TOTAL)	1178 m ²
EXISTING HOUSE	144 m ²
EXISTING CARPORT (retained)	59 m ²
EXTENSION	25 m ²
PROPOSED HOUSE	169 m ²
TOTAL ROOF COVERED AREA	254 m ²
PLOT RATIO	14 %

15. HUMAN IMPACT SAFETY
Refer to NCC Part 8.4
The thickness and type of glazing installed in areas of a building that have a high potential for human impact (an area of a building frequented by the occupants during everyday activities in which a person could fall into or against the glazed panel) must comply as follows:
(a) Doors — in accordance with 3.6.4.1.
(b) Door side panels — in accordance with 3.6.4.2.
(c) Full height glass panels — in accordance with 3.6.4.3.
(d) Glazed panels, other than doors or side panels, on the perimeter of rooms — in accordance with 3.6.4.4.
(e) Bathrooms, ensuite and spa room glazing — in accordance with 3.6.4.5.
(f) Visibility of glazing — in accordance with 3.6.4.6.

16. CONDENSATION MANAGEMENT:

ROOF AND WALL CONSTRUCTION TO COMPLY NCC PART 10.8.1 & 10.8.3 PLIABLE BUILDING MEMBRANE
a) where a pliable membrane is installed in an external must, it must -
i) comply with AS/NZ 4200.1
ii) be installed in accordance with AS 4200.2
iii) be a **vapour** permeable barrier
iv) be located on the exterior side of the primary insulation layer of the wall assemblies that form the external building envelope of the building
b) except for single skin masonry or concrete, where a pliable membrane is not installed in an external wall, the primary water control layer must be separated from water sensitive materials by a drained cavity

NCC PART 10.8.2 FLOW RATE & DISCHARGE OF EXHAUST SYSTEMS
a) an exhaust system installed in a kitchen, bathroom, toilet or laundry must have a minimum flow rate of -
i) 25 litres per second for a bathroom or toilet
ii) 40 litres per second for a kitchen or laundry
b) exhaust from bathroom, laundry or toilet must be to outdoor air
HEALTH & AMENITY
Refer to guidance in the 'Guide for Control of Condensation & Mould in Tasmanian Homes' that should be adhered to.

FINISHES SCHEDULE

ROOF SHEETING

REFER TO SCHEDULES ON PLANS & ELEVATIONS.

WALL CLADDING:

REFER TO SCHEDULES ON PLANS & ELEVATIONS.

WINDOW FRAMES:

ALL WINDOWS U.N.O. TO BE ALUMINIUM CAPRAL NARROWLINE 325. SET ALL SLIDING DOOR SEALS & TRACKS TO FLOOR LEVEL TO BE FLUSH.

FLOORING:

POWDER/ LAUNDRY/ TILES OVER CONCRETE OVER BATHROOM/ ENSUITE: WATERPROOFING MEMBRANE

KITCHEN: TILES OVER CONCRETE

DINING / LIVING: CARPET OVER CONCRETE

BEDROOMS : CARPET OVER CONCRETE

DOWNPIPES

PVC 100 DIA. - PAINTED TO MATCH WALL COLOUR

PLASTERBOARD FINISH:

ALL WINDOWS TO BE FLUSH MOUNTED. NO ARCHITRAVES. SHADOWLINE FINISH TO WALL JOINS WITH CEILING AND FLOOR. NO CORNICES , 100 SKIRTING BOARDS FLUSH WITH SHADOWLINE OVER. PAINTED DULUX WHISPER WHITE U.N.O.

SCHEDULE

- ☉ SMOKE DETECTOR HARD WIRED
 - dw DISHWASHER
 - st STOVE
 - s SINK
 - b BASIN
 - ba BATH
 - shr SHOWER
 - tr TROUGH
 - wm WASHING MACHINE
 - dp DOWNPIPE
 - ef EXHAUST FAN
 - CL CEILING LEVEL
 - FFL FINISHED FLOOR LEVEL
 - RL REDUCED LEVEL
- U.N.O. UNLESS NOTED OTHERWISE

ALL DOORS 2400 HIGH UNLESS NOTED/ SHOWN OTHERWISE.

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designer : gregory eade
client: darren harris
land title ref no: CT- 42011/2
climate zone: 7
humidity zone: 3
corrosion environ: closer than 1km to coast .

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Project
35 COOLAMON ROAD, TAROONA
HOUSE ALTERATION AND EXTENSION

Drawing
NOTE SHEET

Number
2024 - HARRIS-A02

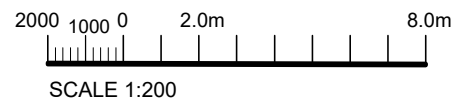
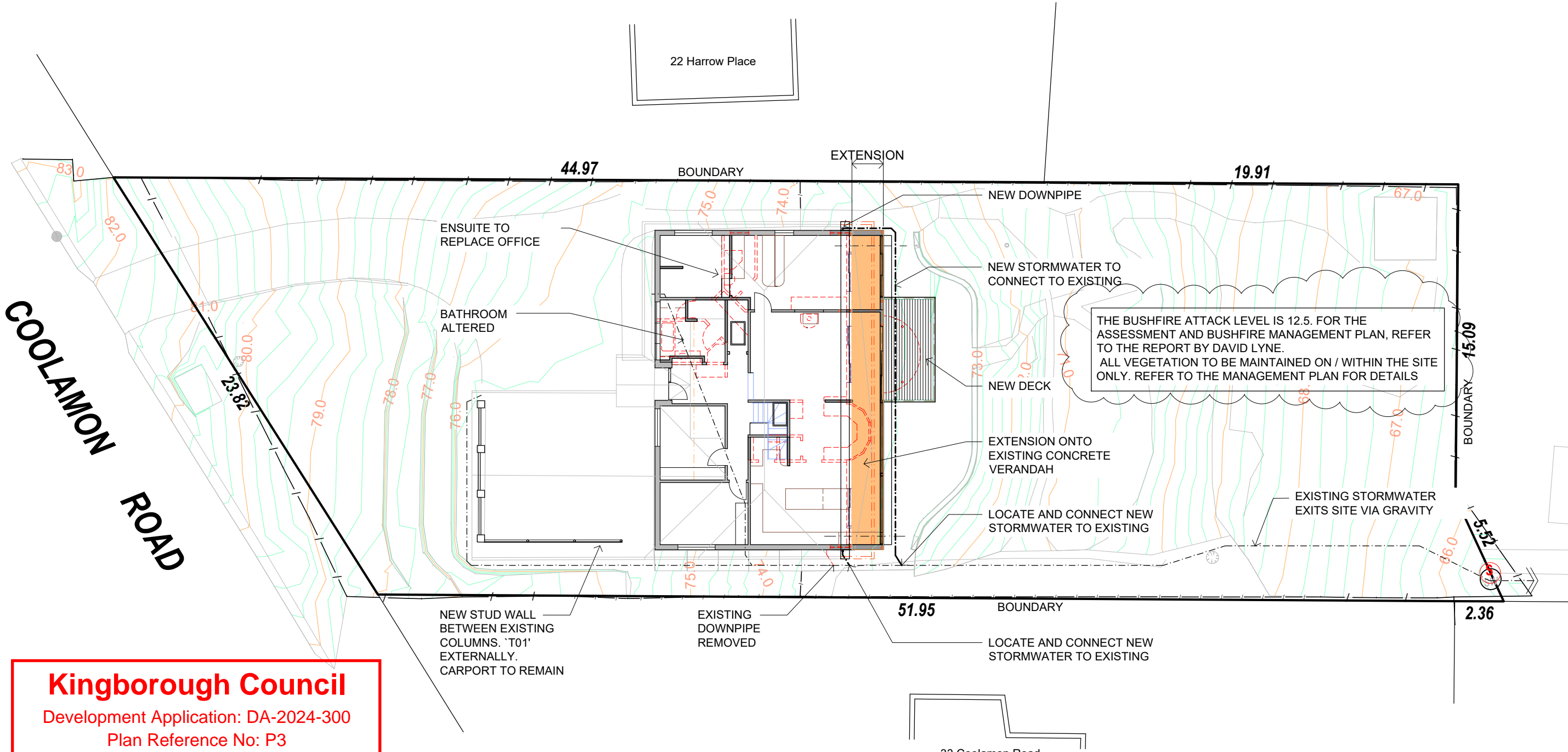
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COOLAMON ROAD

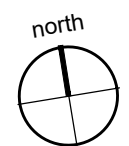
22 Harrow Place

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SITE PLAN
 SCALE 1:200



REV A 20.10.2024 BAL NOTE ADDED

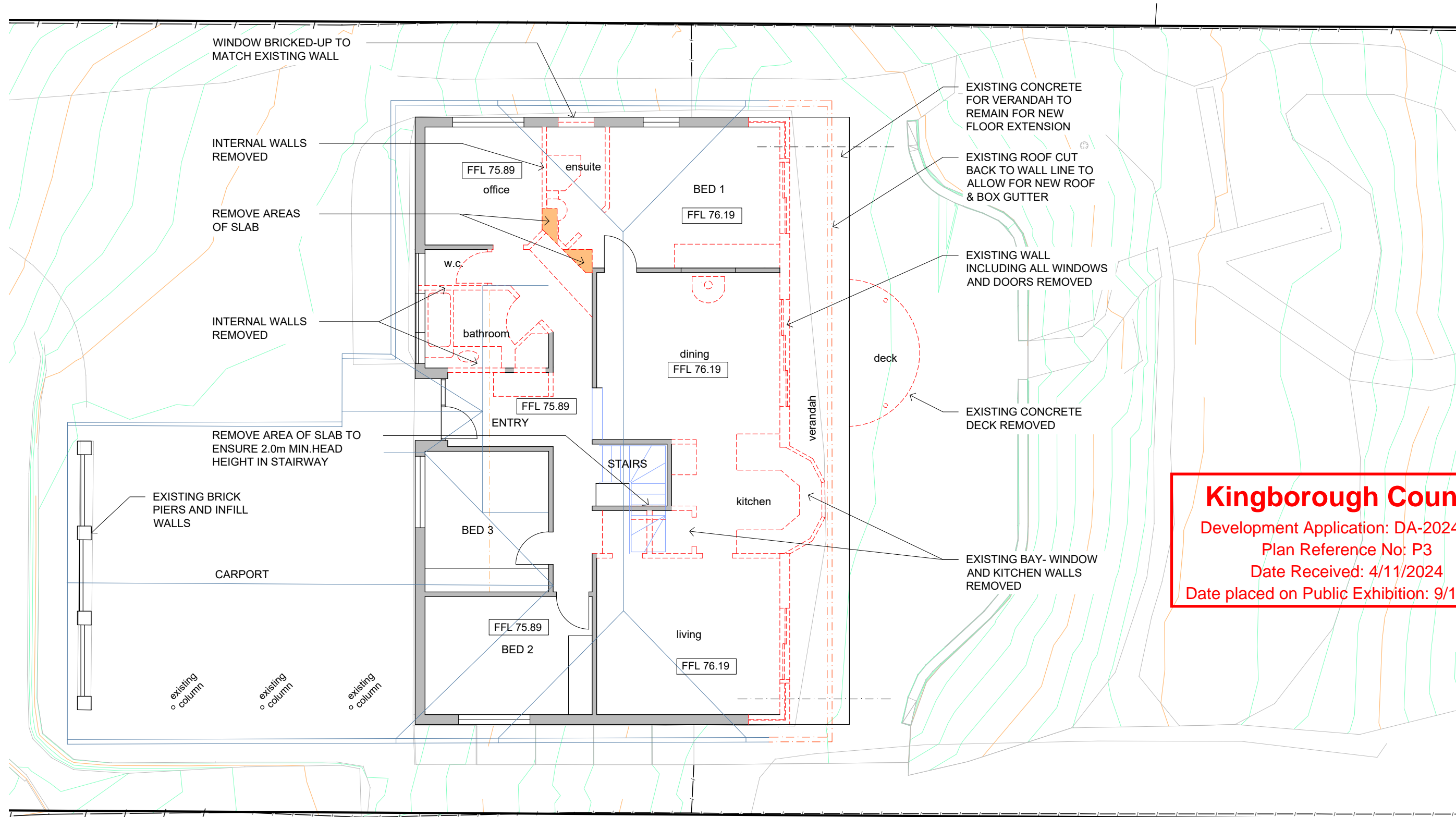


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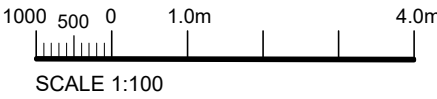
Project
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 Drawing
SITE PLAN
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2024 - HARRIS-A03

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EXISTING AND DEMOLITION PLAN
 SCALE 1:100

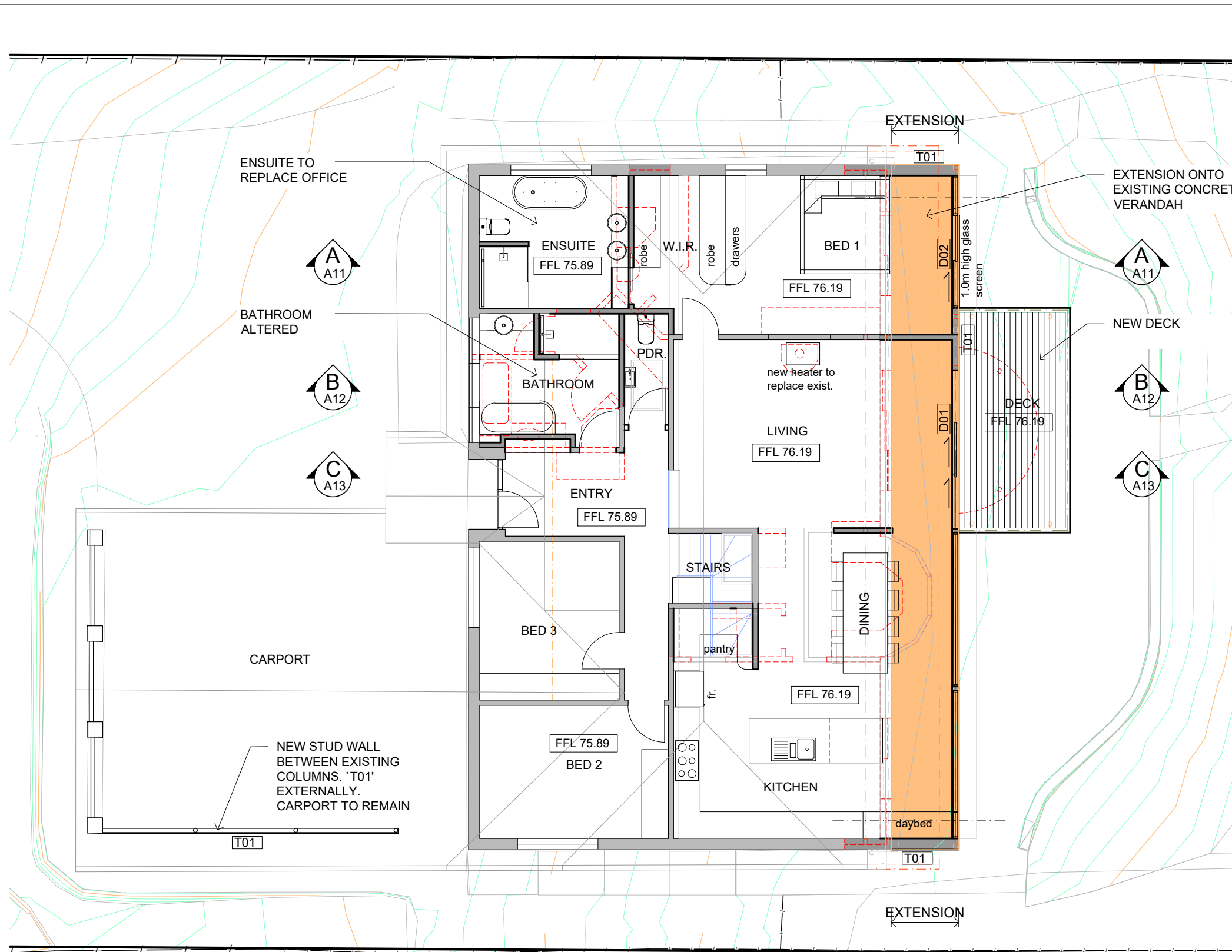


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EXIST. & DEMOLIT. PLAN
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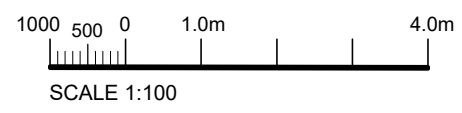


- T01** CEMINTEL STREET CLADDING EDGE BOND. 75mm WIDE STRIP ON TIMBER BATTENS. PAINTED SURFMIST
- T02** BRICKWORK TO MATCH EXISTING
- T03** GLASS BALUSTRADE IN STEEL FRAME HANDRAILS AND STANCHIONS
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FLOOR PLAN
SCALE 1:100



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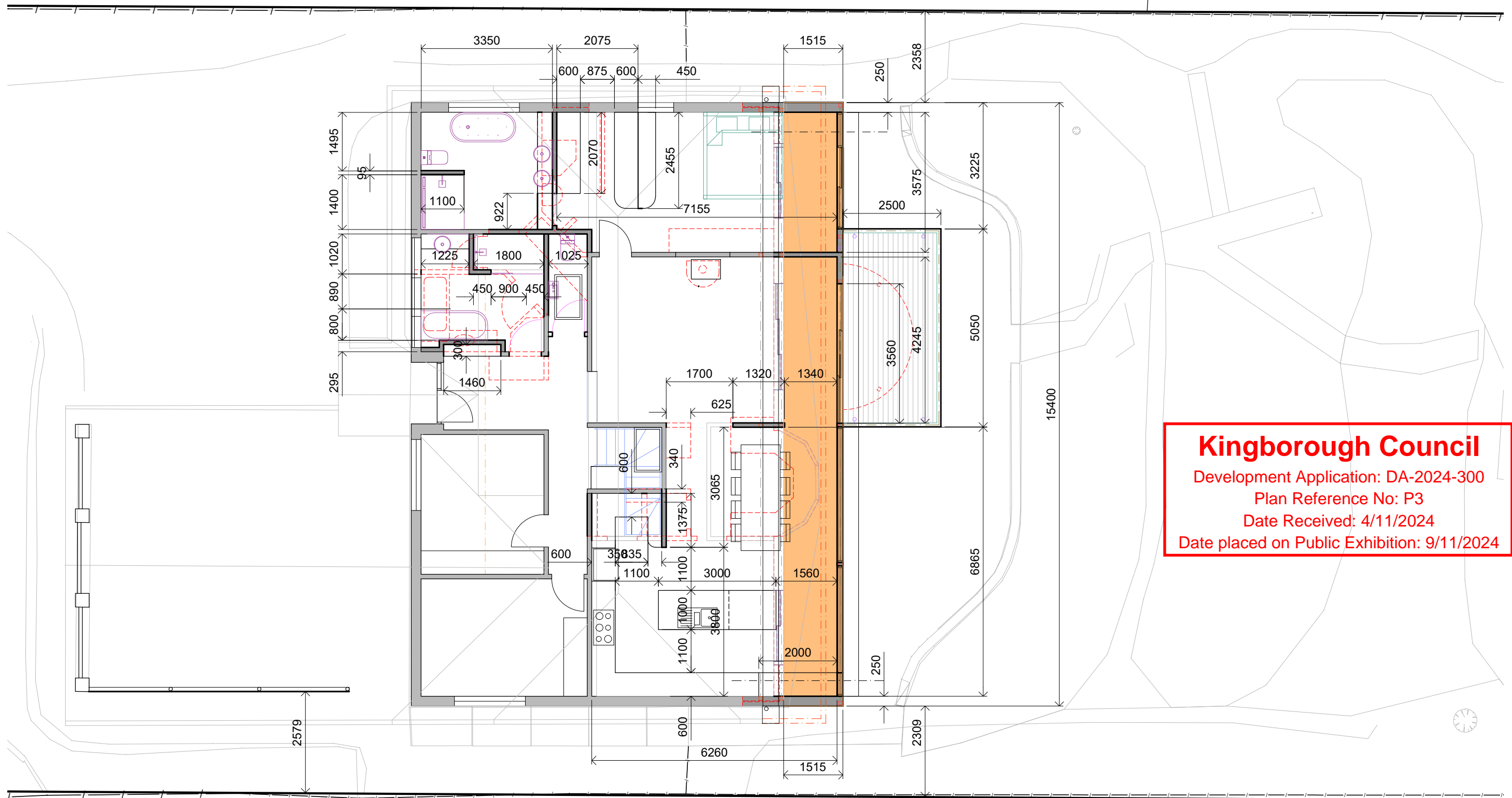
Project
35 COOLAMON ROAD, TAROONA
HOUSE ALTERATION AND EXTENSION

Drawing
FLOOR PLAN

Number
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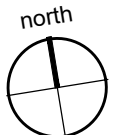
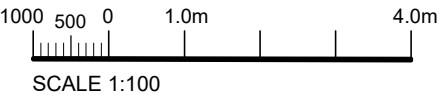
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DIMENSIONAL PLAN
 SCALE 1:100

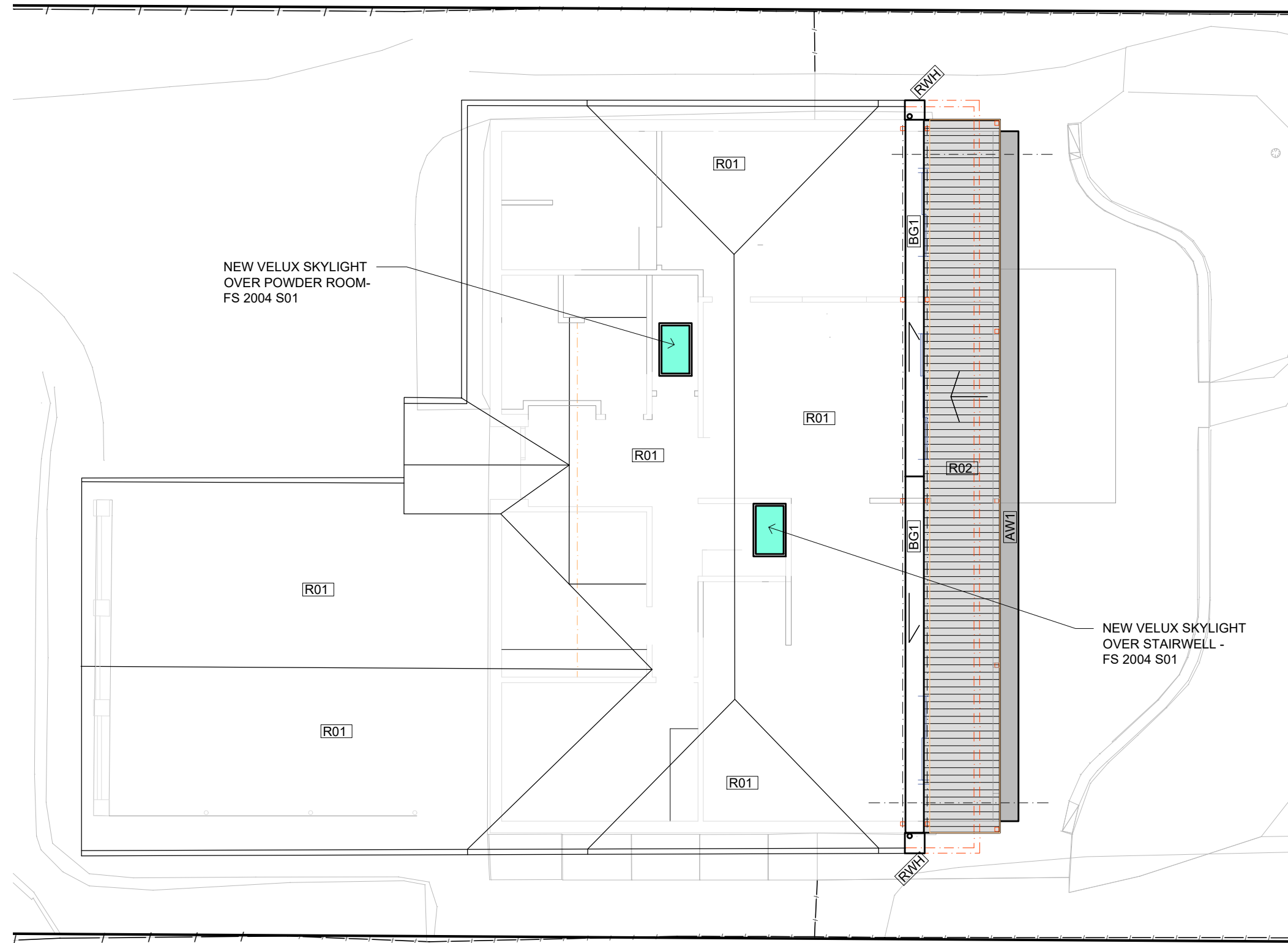


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DIMENSIONAL PLAN
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2024 - HARRIS-A06

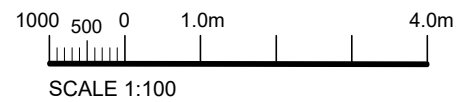
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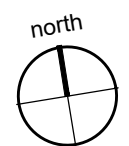
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ROOF PLAN
SCALE 1:100

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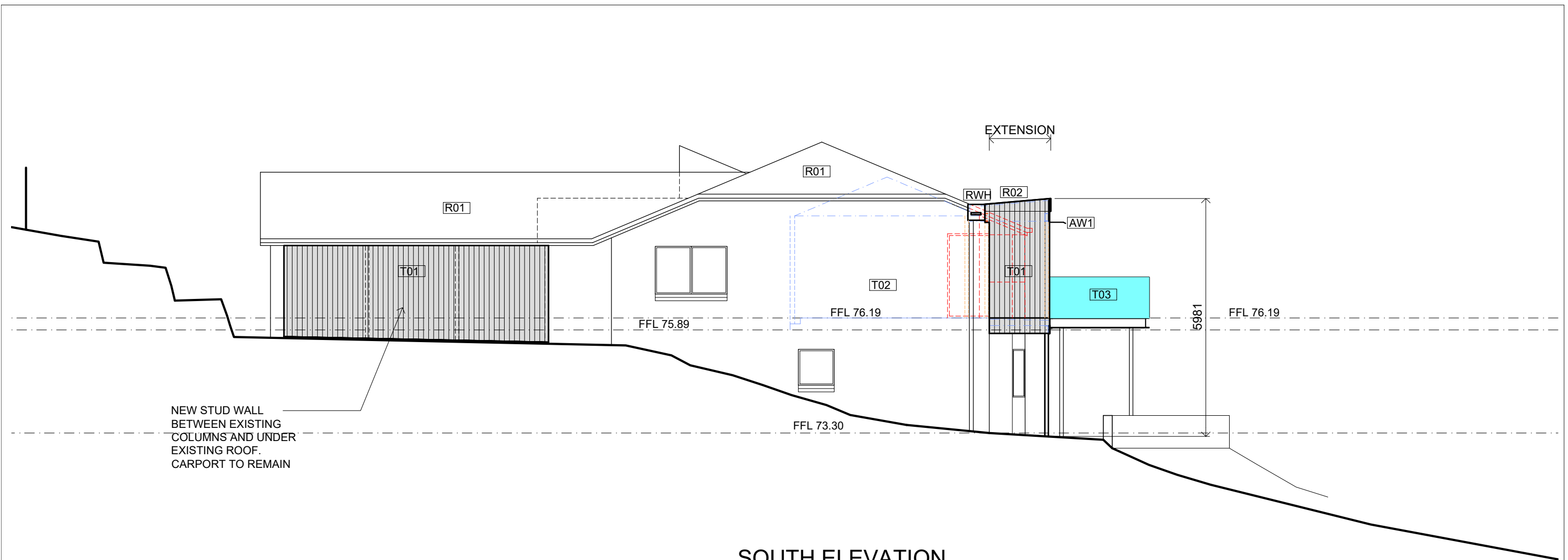
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Drawing
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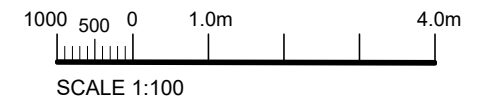
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SOUTH ELEVATION
SCALE 1:100

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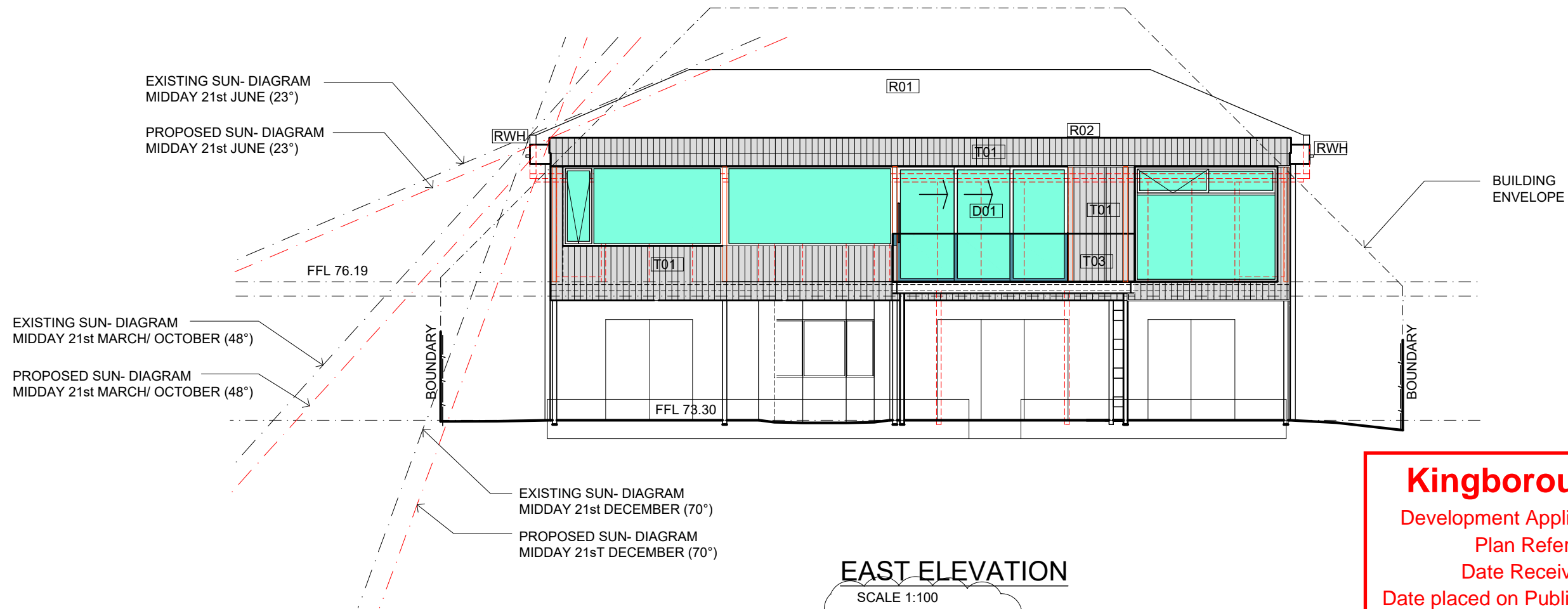
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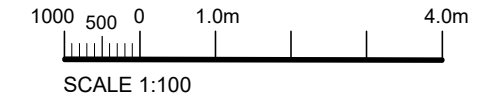
<p>designer : gregory eade client: darren harris land title ref no: CT- 42011/2 climate zone: 7 humidity zone: 3 corrosion environ: closer than 1km to coast .</p>	<p>e a d e s i o n</p> <p>gregory eade building design 26 browne street, west hobart 7000 accreditation no. C1133F t: 0427 871723 e: geade@bigpond.net.au</p>	<p>Project 35 COOLAMON ROAD, TAROONA HOUSE ALTERATION AND EXTENSION</p> <p>Drawing SOUTH ELEVATION</p> <p>Number 2024 - HARRIS-A08</p>
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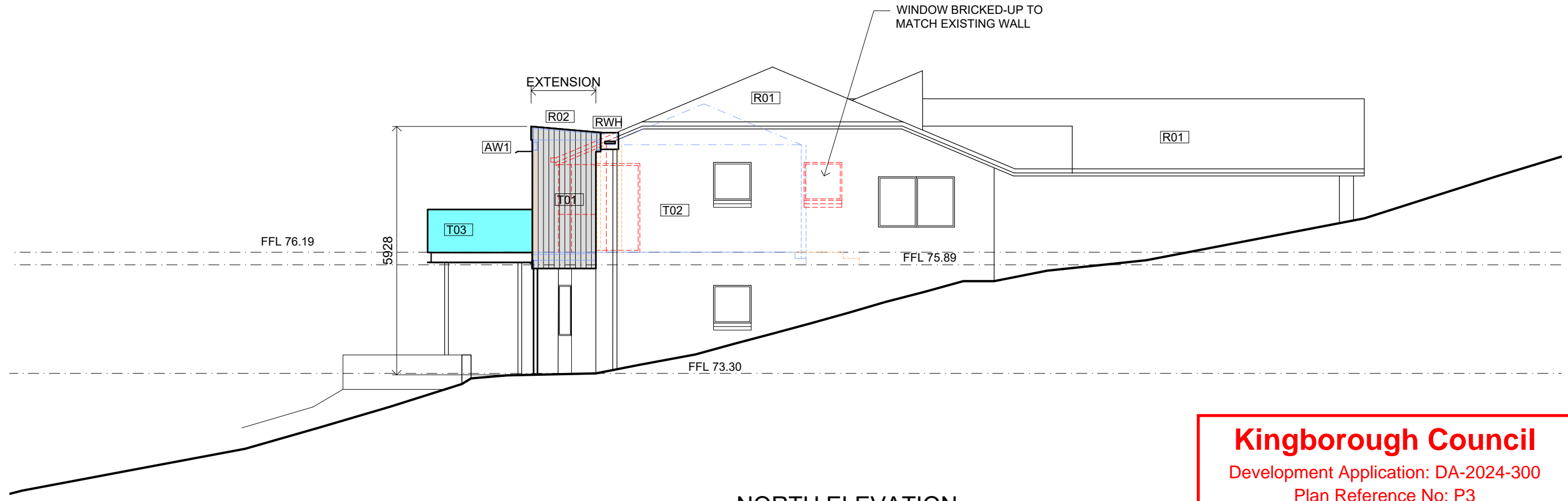
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- RWH** RAIN WATER HEAD
- AW1** 8mm ALUMINIUM AWNING x 400 WIDE. EDGE LIP - FALL TO OUTSIDE. PAINT WHITE



REV B 20.10.2024 SCALE UPDATED
 REV A 10.9.2024 WINDOW FRAMES WERE BLACK. WALL COLOUR T01 WAS WHISPER WHITE

<p>designer : gregory eade client: darren harris land title ref no: CT- 42011/2 climate zone: 7 humidity zone: 3 corrosion environ: closer than 1km to coast .</p>	<p>e a d e s i o n</p> <p>gregory eade building design 26 browne street, west hobart 7000 accreditation no. C1133F t: 0427 871723 e: geade@bigpond.net.au</p>	<p>Project 35 COOLAMON ROAD, TAROONA HOUSE ALTERATION AND EXTENSION</p> <p>Drawing EAST ELEVATION</p> <p>Number 2024 - HARRIS-A09</p>
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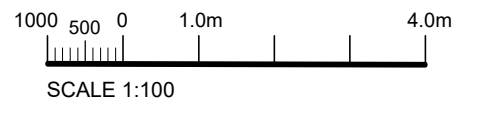
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NORTH ELEVATION
SCALE 1:100

Kingborough Council
Development Application: DA-2024-300
Plan Reference No: P3
Date Received: 4/11/2024
Date placed on Public Exhibition: 9/11/2024

- T01** CEMINTEL STREET CLADDING EDGE BOND. 75mm WIDE STRIP ON TIMBER BATTENS. PAINTED SURFMIST
- T02** BRICKWORK TO MATCH EXISTING
- T03** GLASS BALUSTRADE IN STEEL FRAME HANDRAILS AND STANCHIONS
- D01** SLIDING - GLAZED ALUMINIUM FRAMED POWDER COAT WHITE.
- W21** TYPICAL WINDOW - ALUMINIUM FRAMED DOUBLE GLAZED. POWDER COAT WHITE
- BG1** BOX GUTTER. 400 x 150. 1.0mm G.I. ON CUSTOM ORB SUBSTRATE. FALL 1:150 TO RWH
- R01** EXISTING CUSTOM ORB ROOF
- R02** NEW KLIPLOK - 0.48 bmt1.0° FALL TO NEW BOX GUTTER. COLORBOND ULTRA
- RWH** RAIN WATER HEAD
- AW1** 8mm ALUMINIUM AWNING x 400 WIDE. EDGE LIP - FALL TO OUTSIDE. PAINT WHITE



REV B 20.10.2024 SCALE UPDATED
REV A 10.9.2024 WINDOW FRAMES WERE BLACK. WALL COLOUR T01 WAS WHISPER WHITE

designer : gregory eade
client: darren harris
land title ref no: CT- 42011/2
climate zone: 7
humidity zone: 3
corrosion environ: closer than 1km to coast .

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Project
35 COOLAMON ROAD, TAROONA
HOUSE ALTERATION AND EXTENSION

Drawing
NORTH ELEVATION

Number
2024 - HARRIS-A10

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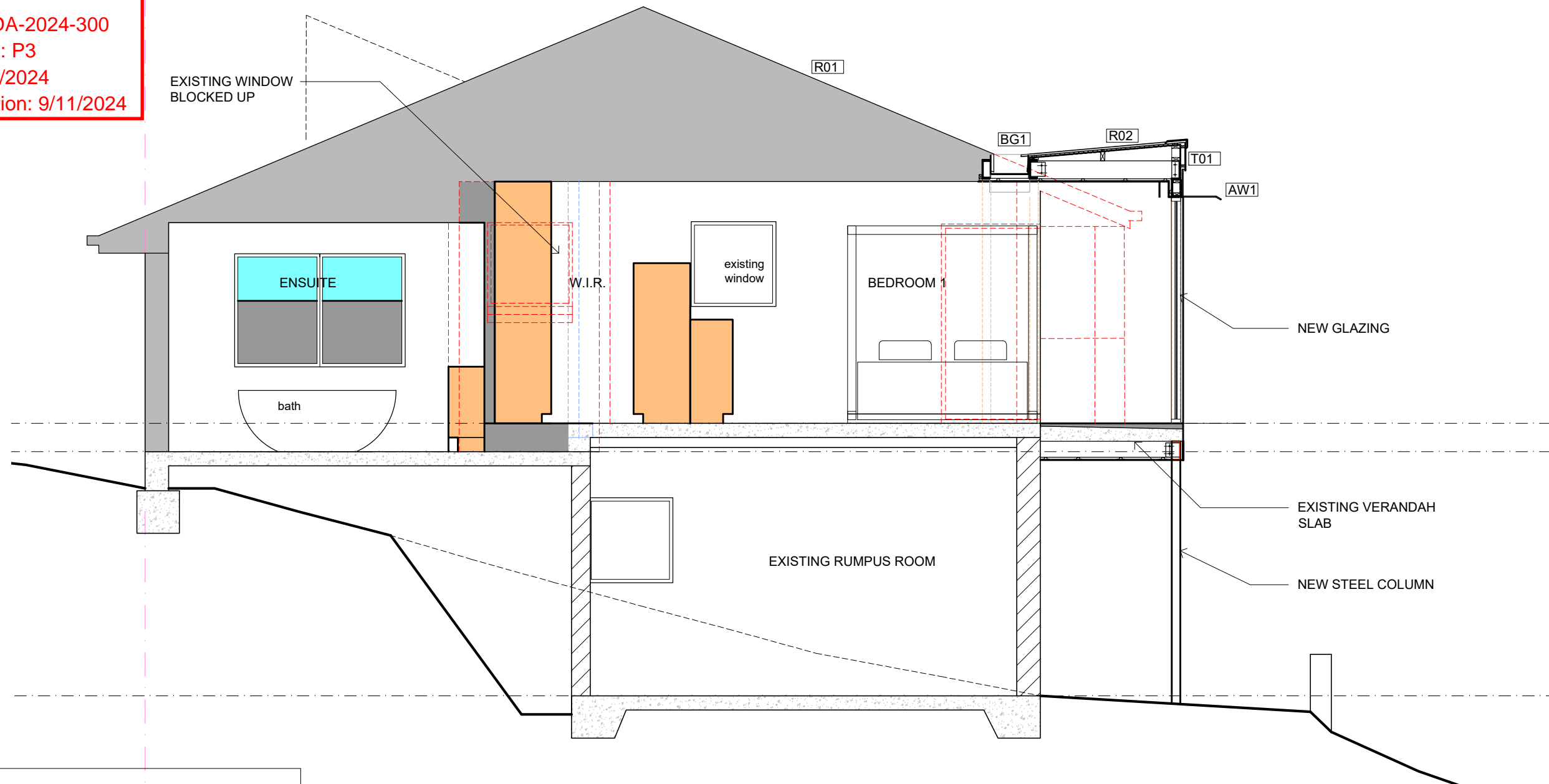
Kingborough Council

Development Application: DA-2024-300

Plan Reference No: P3

Date Received: 4/11/2024

Date placed on Public Exhibition: 9/11/2024



- T01 CEMINTEL STREET CLADDING EDGE BOND. 75mm WIDE STRIP ON TIMBER BATTENS. PAINTED SURFMIST
- T02 BRICKWORK TO MATCH EXISTING
- T03 GLASS BALUSTRADE IN STEEL FRAME HANDRAILS AND STANCHIONS
- D01 SLIDING - GLAZED ALUMINIUM FRAMED POWDER COAT WHITE.
- W21 TYPICAL WINDOW - ALUMINIUM FRAMED DOUBLE GLAZED. POWDER COAT WHITE
- BG1 BOX GUTTER. 400 x 150. 1.0mm G.I. ON CUSTOM ORB SUBSTRATE. FALL 1:150 TO RWH
- R01 EXISTING CUSTOM ORB ROOF
- R02 NEW KLIPILOK - 0.48 bmt1.0° FALL TO NEW BOX GUTTER. COLORBOND ULTRA
- RWH RAIN WATER HEAD
- AW1 8mm ALUMINIUM AWNING x 400 WIDE. EDGE LIP - FALL TO OUTSIDE. PAINT WHITE

SECTION A

SCALE 1:50



REV A 10.9.2024 WINDOW FRAMES WERE BLACK. WALL COLOUR T01 WAS WHISPER WHITE

designer : gregory eade
 client: darren harris
 land title ref no: CT- 42011/2
 climate zone: 7
 humidity zone: 3
 corrosion environ: closer than 1km to coast .

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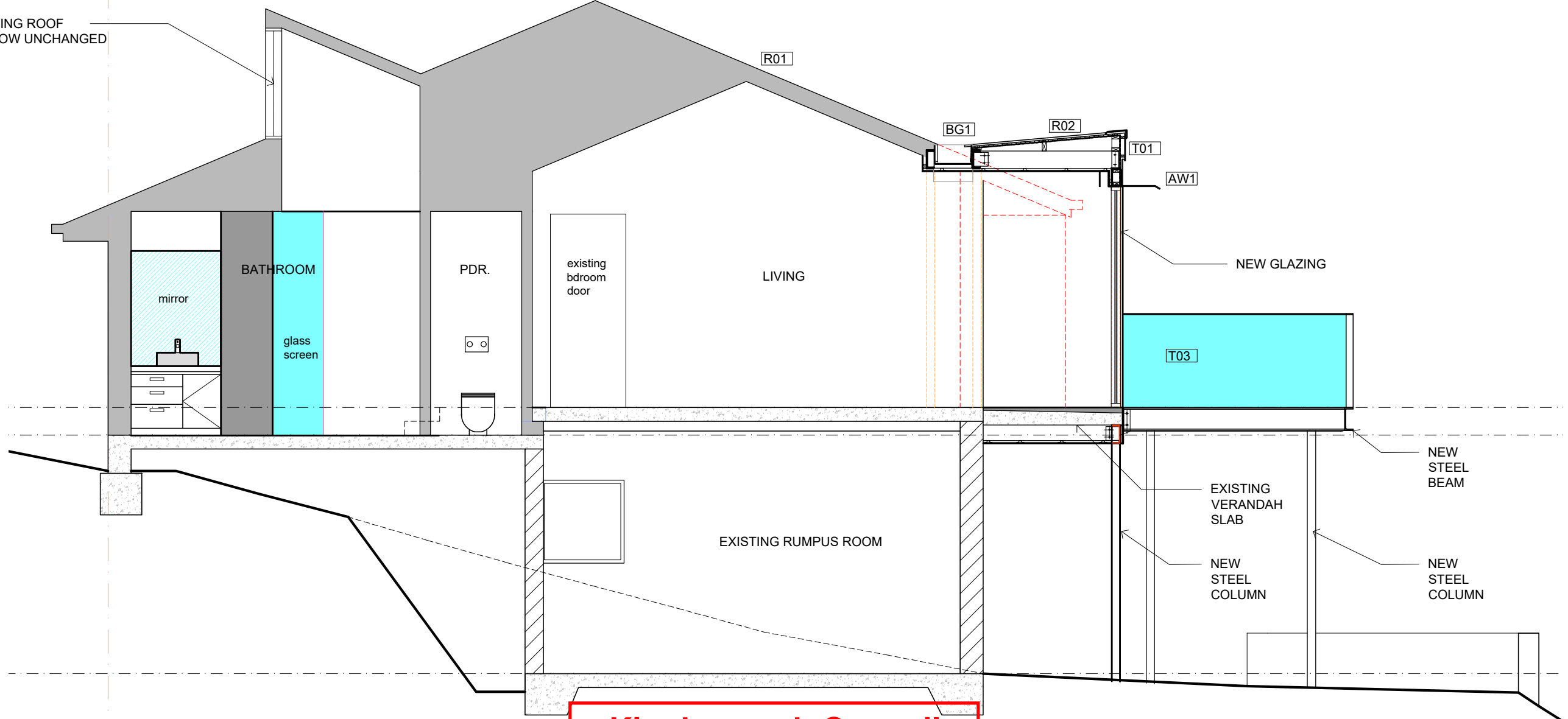
Project
35 COOLAMON ROAD, TAROONA
HOUSE ALTERATION AND EXTENSION

Drawing
SECTION A

Number
2024 - HARRIS-A11

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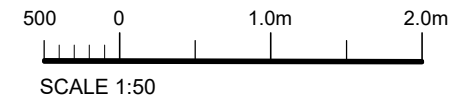
EXISTING ROOF WINDOW UNCHANGED



Kingborough Council

Development Application: DA-2024-300
 Plan Reference No: P3
 Date Received: 4/11/2024
 Date placed on Public Exhibition: 9/11/2024

SECTION B SCALE 1:50



T01		CEMINTEL STREET CLADDING EDGE BOND. 75mm WIDE STRIP ON TIMBER BATTENS. PAINTED SURFMIST
T02		BRICKWORK TO MATCH EXISTING
T03		GLASS BALUSTRADE IN STEEL FRAME HANDRAILS AND STANCHIONS
D01		SLIDING - GLAZED ALUMINIUM FRAMED POWDER COAT WHITE.
W21		TYPICAL WINDOW - ALUMINIUM FRAMED DOUBLE GLAZED. POWDER COAT WHITE
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RWH		RAIN WATER HEAD
AW1		8mm ALUMINIUM AWNING x 400 WIDE. EDGE LIP - FALL TO OUTSIDE. PAINT WHITE

REV A 10.9.2024 WINDOW FRAMES WERE BLACK. WALL COLOUR T01 WAS WHISPER WHITE

designer : gregory eade
 client: darren harris
 land title ref no: CT- 42011/2
 climate zone: 7
 humidity zone: 3
 corrosion environ: closer than 1km to coast .

e a d e s i o n

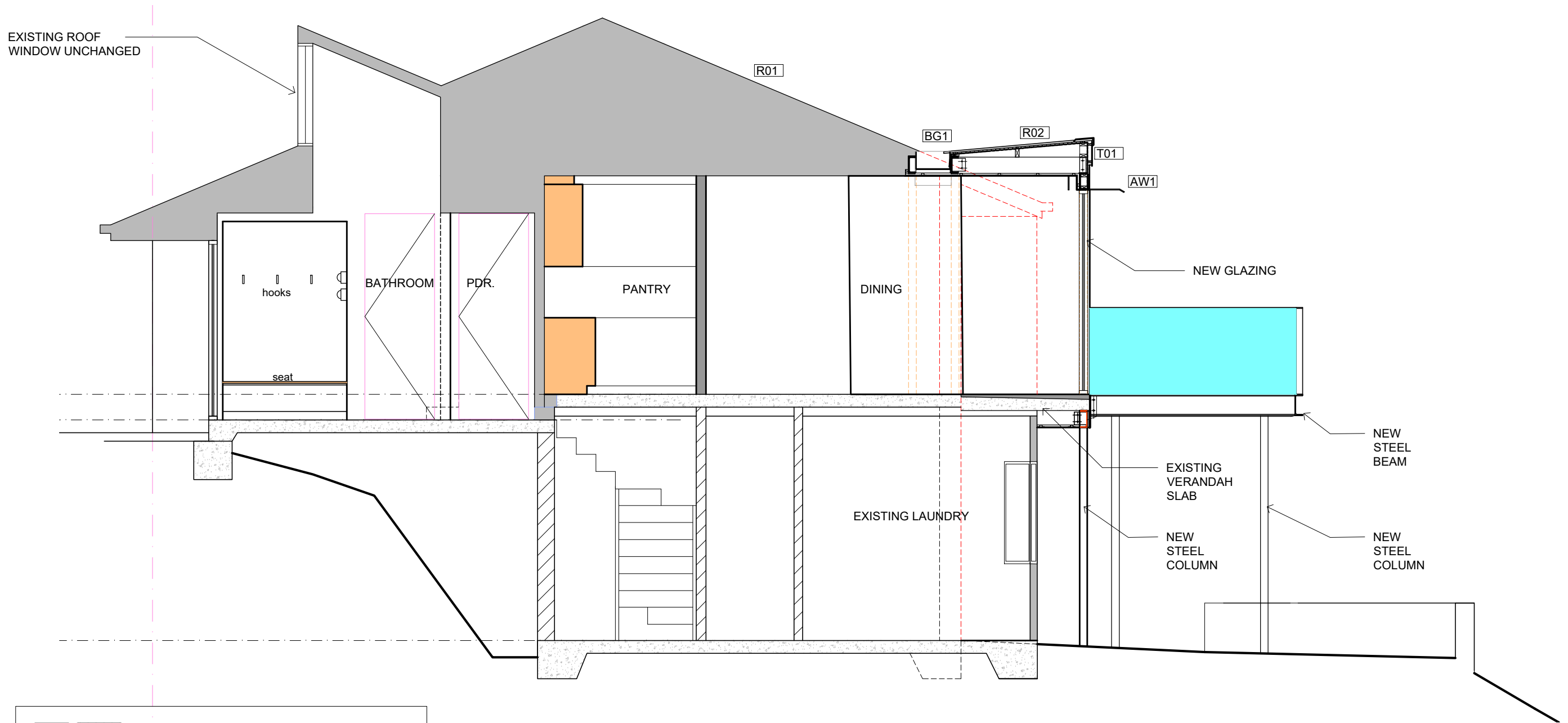
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Project
35 COOLAMON ROAD, TAROONA
HOUSE ALTERATION AND EXTENSION

Drawing
SECTION B

Number
2024 - HARRIS-A12

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- T01** CEMINTEL STREET CLADDING EDGE BOND. 75mm WIDE STRIP ON TIMBER BATTENS. PAINTED SURFMIST
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- BG1** BOX GUTTER. 400 x 150. 1.0mm G.I. ON CUSTOM ORB SUBSTRATE. FALL 1:150 TO RWH
- R01** EXISTING CUSTOM ORB ROOF
- R02** NEW KLIPOK - 0.48 bmt 1.0° FALL TO NEW BOX GUTTER. COLORBOND ULTRA
- RWH** RAIN WATER HEAD
- AW1** 8mm ALUMINIUM AWNING x 400 WIDE. EDGE LIP - FALL TO OUTSIDE. PAINT WHITE

SECTION C

SCALE 1:50

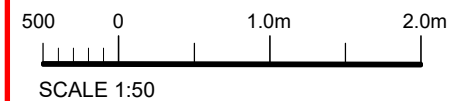
Kingborough Council

Development Application: DA-2024-300

Plan Reference No: P3

Date Received: 4/11/2024

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REV A 10.9.2024 WINDOW FRAMES WERE BLACK. WALL COLOUR T01 WAS WHISPER WHITE

designer : gregory eade
 client: darren harris
 land title ref no: CT- 42011/2
 climate zone: 7
 humidity zone: 3
 corrosion environ: closer than 1km to coast .

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Project
35 COOLAMON ROAD, TAROONA
HOUSE ALTERATION AND EXTENSION

Drawing
SECTION C

Number
2024 - HARRIS-A13

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