

APPLICATION FOR PLANNING APPROVAL

Application Number:	DA-2024-239
Proposal:	Seven (7) warehouses, two (2) showrooms and associated works
Subject Site:	'Kingston Town', 37-59 Maranoa Road, Kingston and adjoining Council Road Reserve
Responsible Planning Officer:	Grace Paisley

Advertised Documents:

- | | |
|---|--|
| <ul style="list-style-type: none">• Application Plans• Natural Values Assessment• Arboricultural Impact Assessment• Stormwater Management Plan• Traffic Impact Assessment | <ul style="list-style-type: none">• Noise Assessment• Planning Report <p>Available upon request:</p> <ul style="list-style-type: none">• Application Form• Copy of Title |
|---|--|

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **29 November 2024** and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.



DRAWING NO:	DESCRIPTION
A1.0	Location Plan
A2.0	Site Plan
A3.0	Warehouses 1&2 & Showroom 01 Ground Floor Plan
A4.0	Warehouse 1&2 & Showroom 01 First Floor Plan
A5.0	Warehouses 1&2 & Showroom 01 Roof Plan
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A7.0	Warehouses 3-8 First Floor Plan
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Artist Impression Only



37-59 MARANOA ROAD, KINGSTON PROPOSED WAREHOUSES + SHOWROOMS

Kingborough Council

Development Application: DA-2024-239

Plan Reference No: P3

Date Received: 27/09/2024

Date placed on Public Exhibition: 16/11/2024

SITE INFORMATION

Title Reference: 126707/0

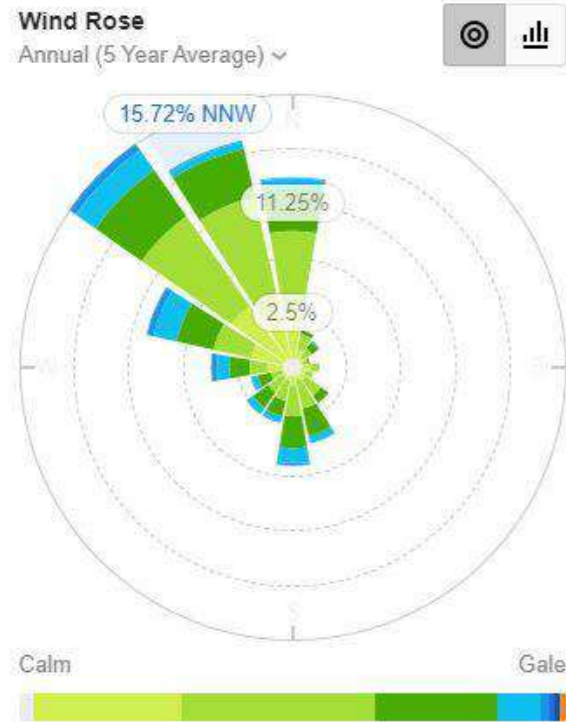
Planning Zone: General Business Zone
 General Overlay: N/A
 Code Overlay:
 - Biodiversity Protection Area

Wind Classification: TBC
 Soil Classification: Refer to XXX Report for further informations

Climate Zone: 7
 BAL Level: N/A

Site Area: TBC m²
 Total Building Area: 2526.05m²

WIND ROSE



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Licence: 189009392

CLIENT: REVELSTOKE BUILDING SOLUTIONS
 ADDRESS: 37-59 MARANOA ROAD, KINGSTON

JOB NO: XXX

PROPOSAL: NEW WAREHOUSES & SHOWROOMS
 PROJECT STAGE: DA

DATE: 27/09/2024
 SCALE:

REVISION: C



A1.0

Location Plan

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LEGEND

- Proposed warehouse
- Planning setback
- Proposed driveway
- Landscaping
- Boundary
- Existing Cable Hydro Underground
- Existing Cable Telstra Underground
- Proposed Right of Way
- DBH - Tree to be retained
- DBH - Tree to be removed
- Tree Protection Zone - Tree to be retained
- Tree Protection Zone - Tree to be removed

EXISTING TREE SCHEDULE

NO.	SPECIES
1	Acacia melanoxylon
2	stag (dead tree, species unknow)
3	Eucalyptus amygdalina
4	Eucalyptus tenuiramis
5	Eucalyptus amygdalina
6	Eucalyptus tenuiramis
7	Eucalyptus amygdalina

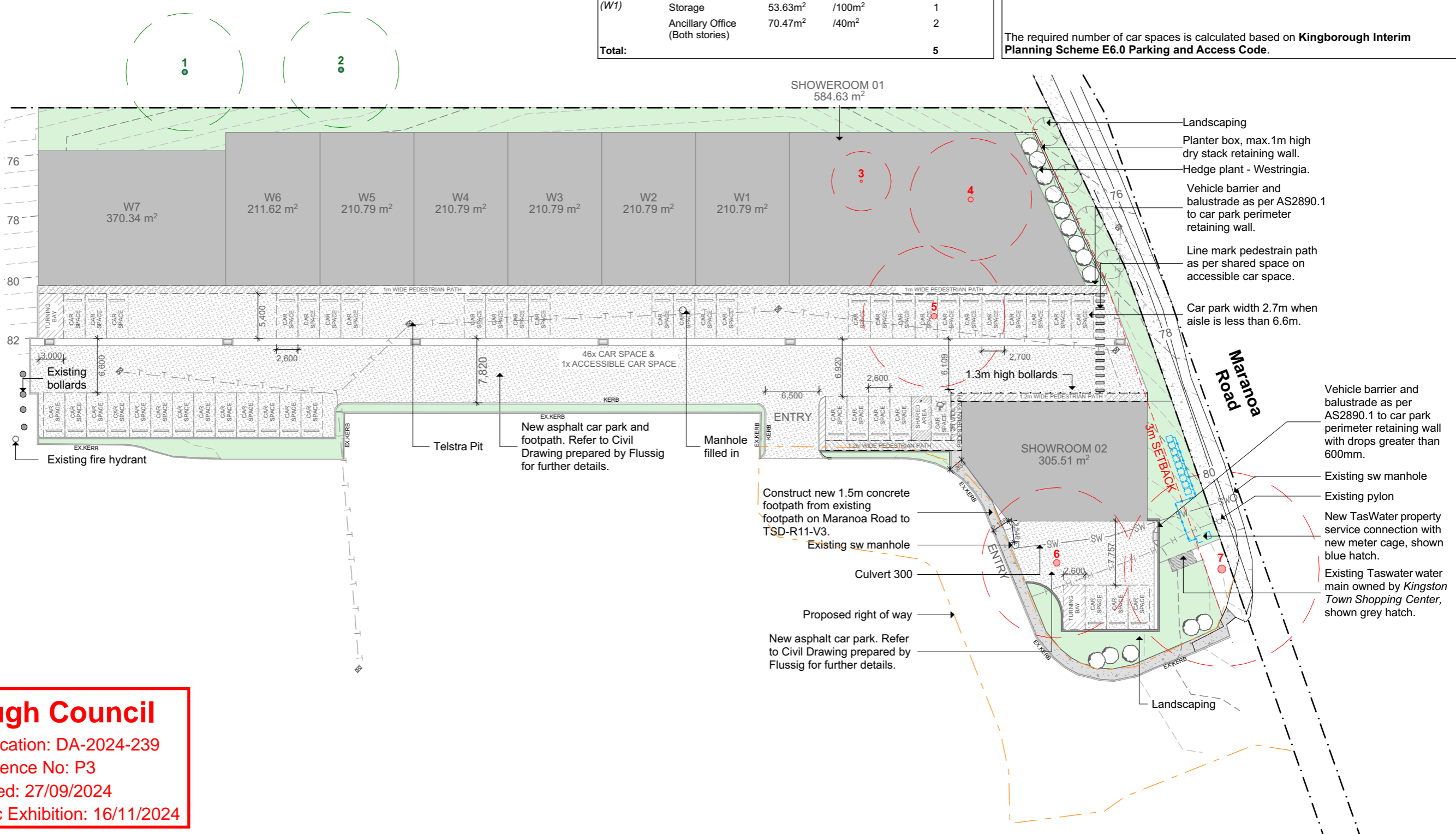
NOTE:
PLEASE REFER TO NATURAL VALUES ASSESSMENT PREPARED BY ENVIRO-DYNAMICS FOR FURTHER DETAILS.

NOTE:
PLEASE REFER TO CIVIL DRAWINGS AND STORMWATER MANAGEMENT PLAN (SWMP) PREPARED BY FLUSSIG FOR FURTHER CIVIL ENGINEERING DETAILS.

NUMBER OF CAR PARKING SPACE				
	USE CLASS:	AREA:	RATE	NUMBER OF CAR PARKING SPACE
Showroom 1	Bulky Goods Sales	376.65m ²	/50m ²	8
	Storage (Incl.Mezzanine)	204.71m ²	/100m ²	2
	Ancillary Office	34.51m ²	/40m ²	1
Total:				11
Showroom 2	Bulky Goods Sales	147.18m ²	/50m ²	3
	Storage (Incl.Mezzanine)	155.82m ²	/100m ²	2
	Ancillary Office	31.88m ²	/40m ²	1
Total:				6
Warehouse 1 (W1)	Bulky Goods Sales	112.78m ²	/50m ²	2
	Storage	53.63m ²	/100m ²	1
	Ancillary Office (Both stories)	70.47m ²	/40m ²	2
Total:				5

NUMBER OF CAR PARKING SPACE				
	USE CLASS:	AREA:	RATE	NUMBER OF CAR PARKING SPACE
Warehouses 2-6 (W2 - W6)	Storage	786.65m ² (157.33m ² per warehouse)	/100m ²	8
	Ancillary Office (Both stories)	352.35m ² (70.47m ² per warehouse)	/40m ²	9
Total:				17
Warehouse 7 (W7)	Storage (Incl.Mezzanine)	357.64m ²	/100m ²	4
	Ancillary Office	39.1m ² per warehouse	/40m ²	1
Total:				5
Total Required Car Space:				44
Proposed Car Space:				46

The required number of car spaces is calculated based on Kingborough Interim Planning Scheme E6.0 Parking and Access Code.



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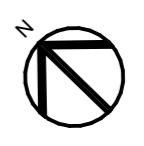
bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

CLIENT: **REVELSTOKE BUILDING SOLUTIONS**
JOB NO: **xxx**
ADDRESS: **37-59 MARANOA ROAD, KINGSTON**

PROPOSAL: **NEW WAREHOUSES & SHOWROOMS**
PROJECT STAGE: **DA**

DATE: **27/09/2024**
SCALE: **1:500@A3**

REVISION: **C**

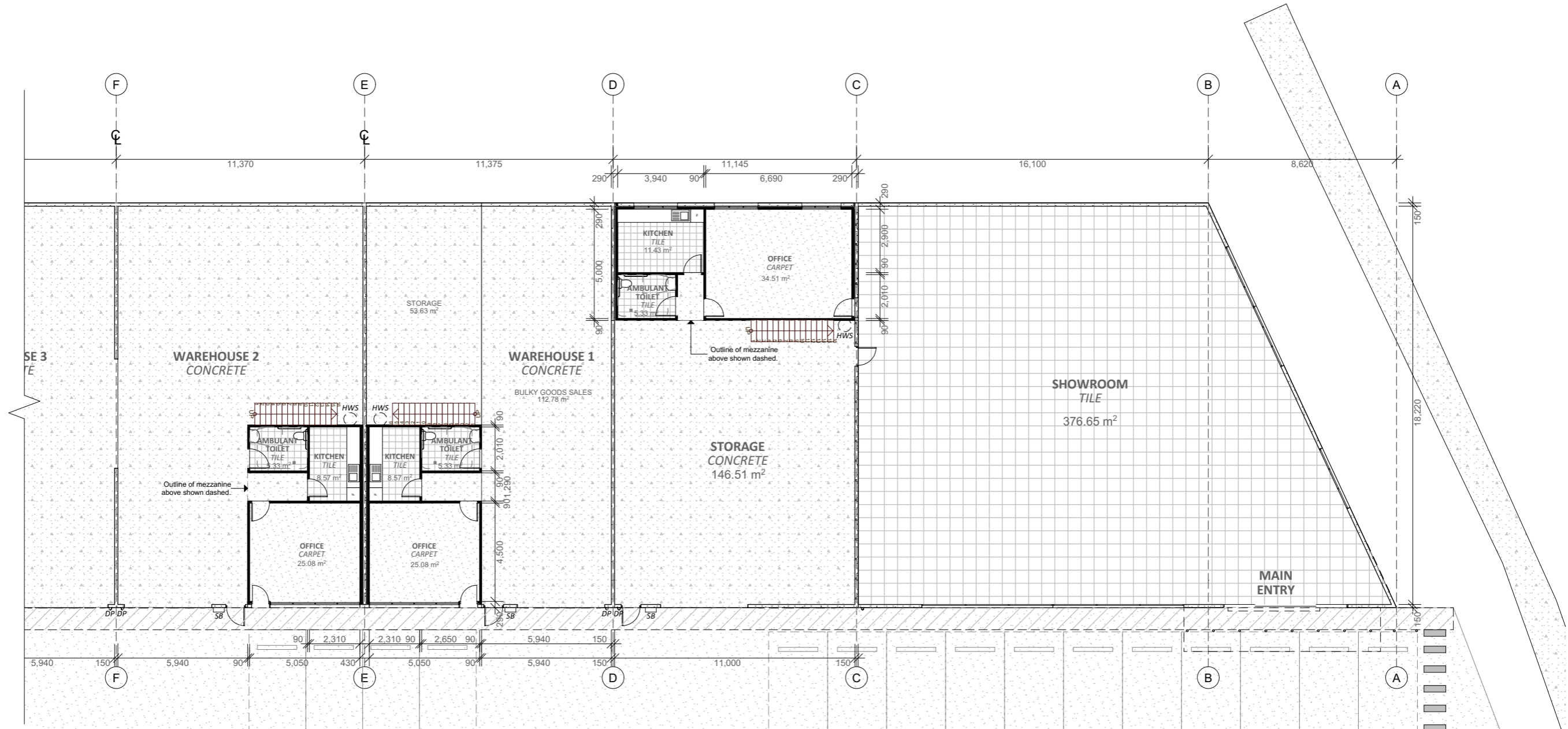


A2.0

Site Plan

KEY

- DP Rainwater Downpipe
- FFL Finished Floor Level
- HWS Hot Water System
- MRS Metal Roof Sheeting
- RWH Rainwater Head
- SB Switchboard



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 SCALE: **1:200@A3**

REVISION: **C**

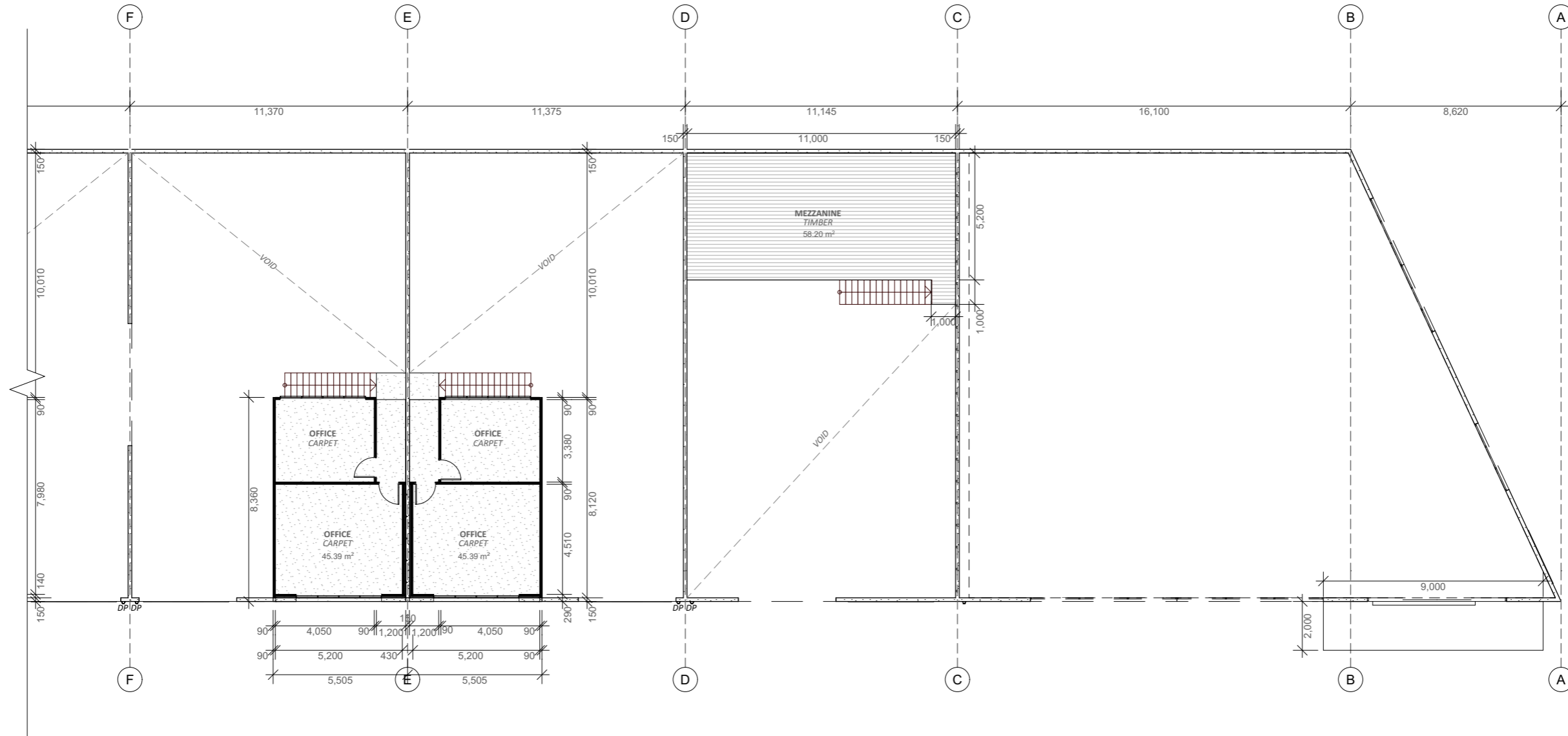


A3.0

Warehouses 1&2 & Showroom 01 Ground Floor Plan

KEY

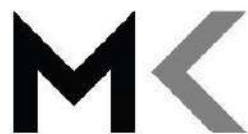
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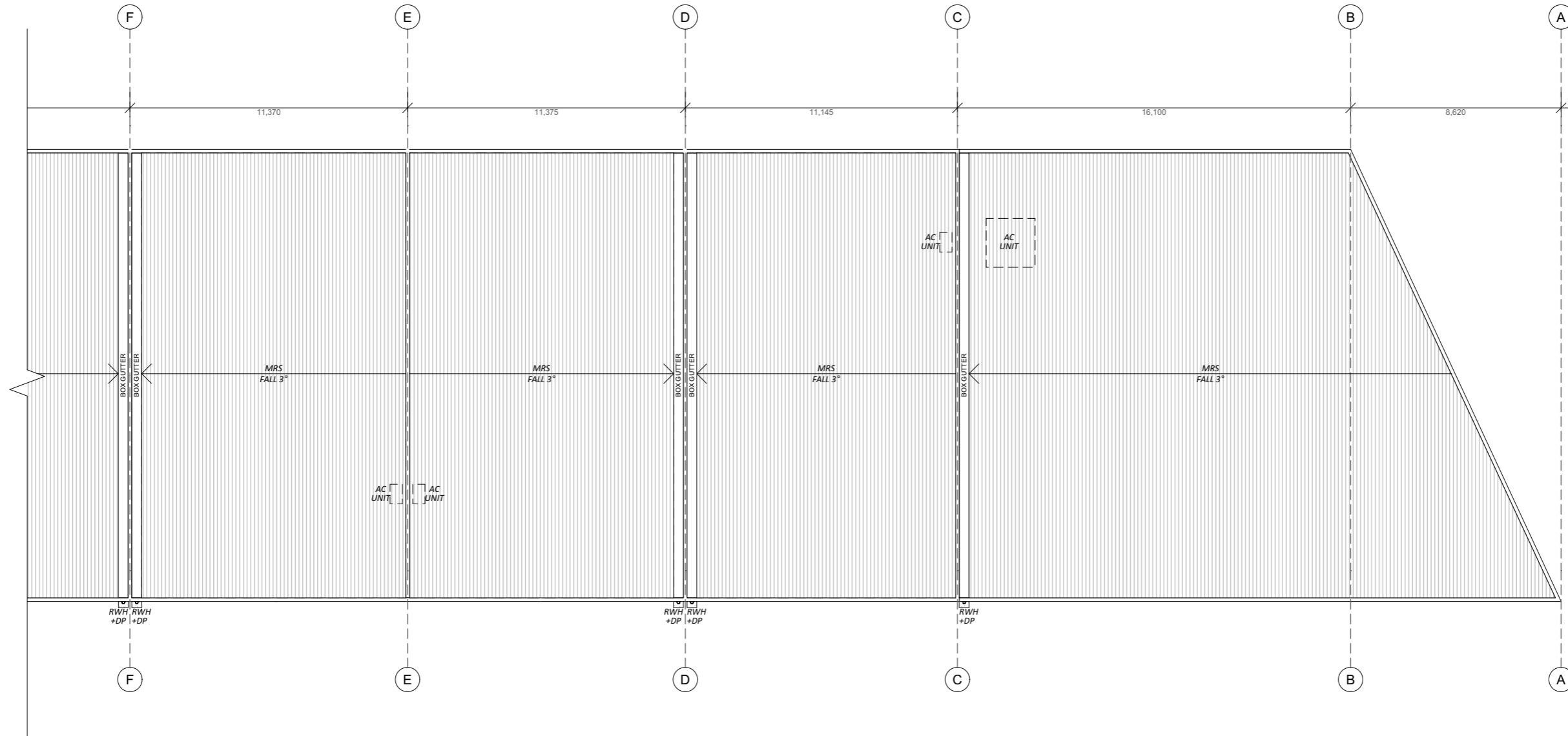


A4.0

Warehouse 1&2 & Showroom 01 First Floor Plan

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REVISION **C**

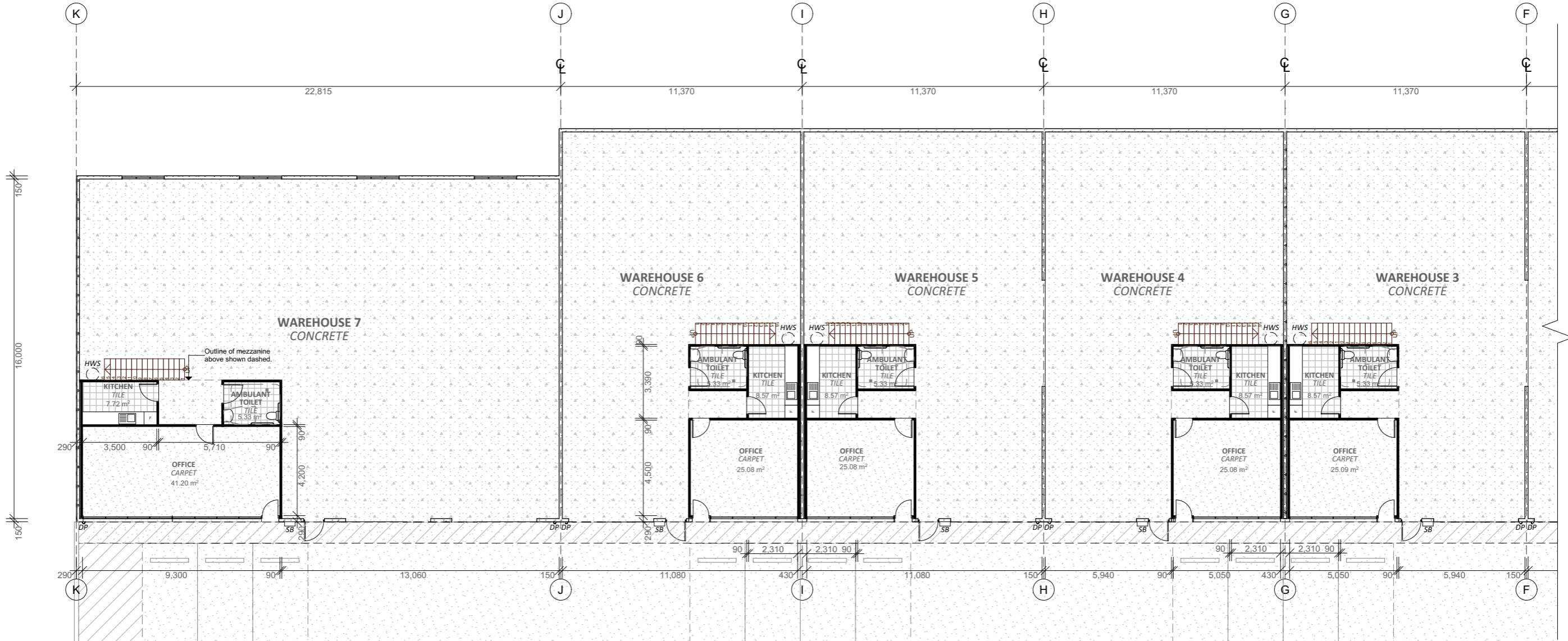


A5.0

Warehouses 1&2 & Showroom 01 Roof Plan

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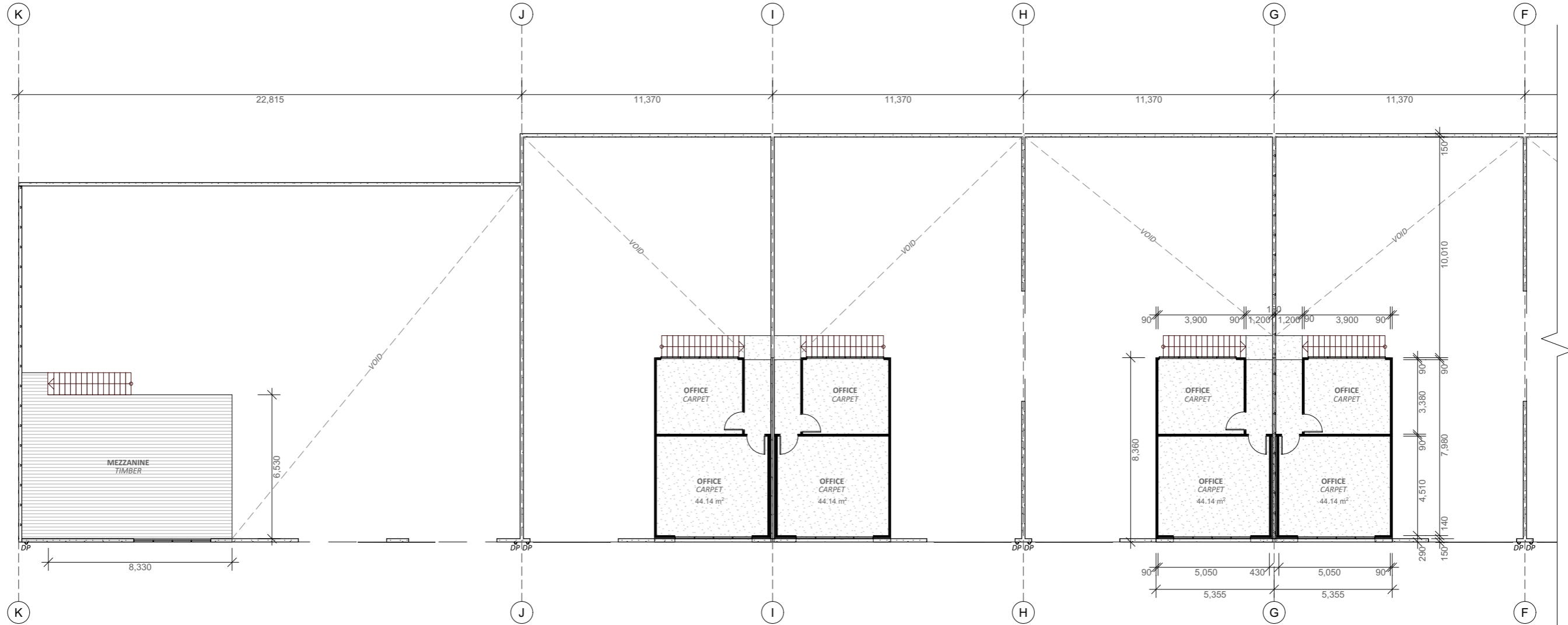


A6.0

Warehouses 3-8 Ground Floor Plan

KEY

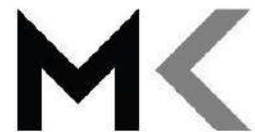
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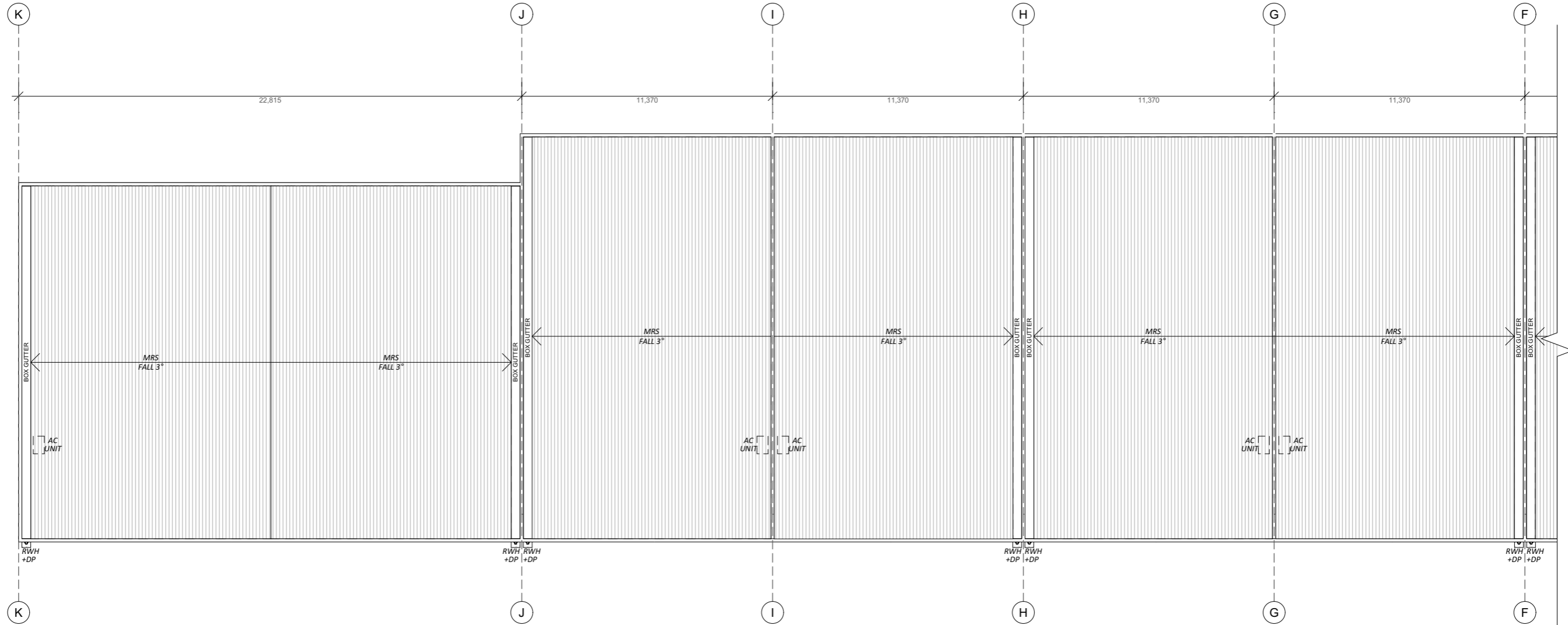


A7.0

Warehouses 3-8 First Floor Plan

KEY

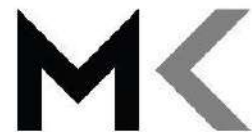
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REVISION **C**

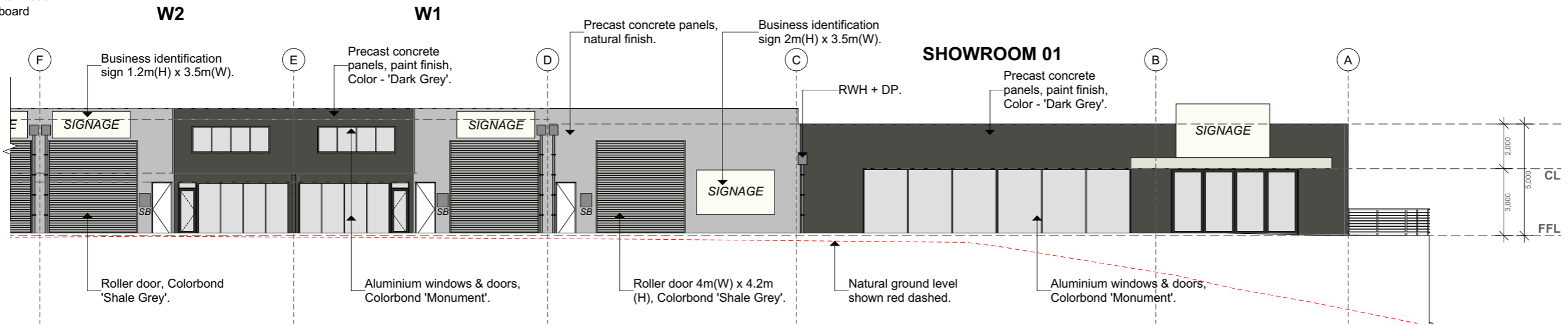


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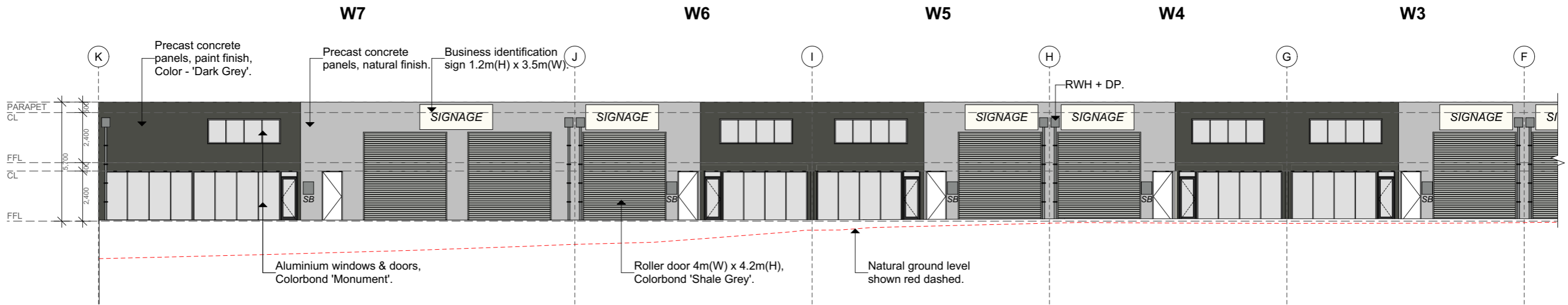
Warehouses 3-8 Roof Plan

KEY

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1
-
SW Elevation
1:200 @ A3



2
-
SW Elevation
1:200 @ A3

Kingborough Council

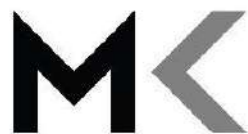
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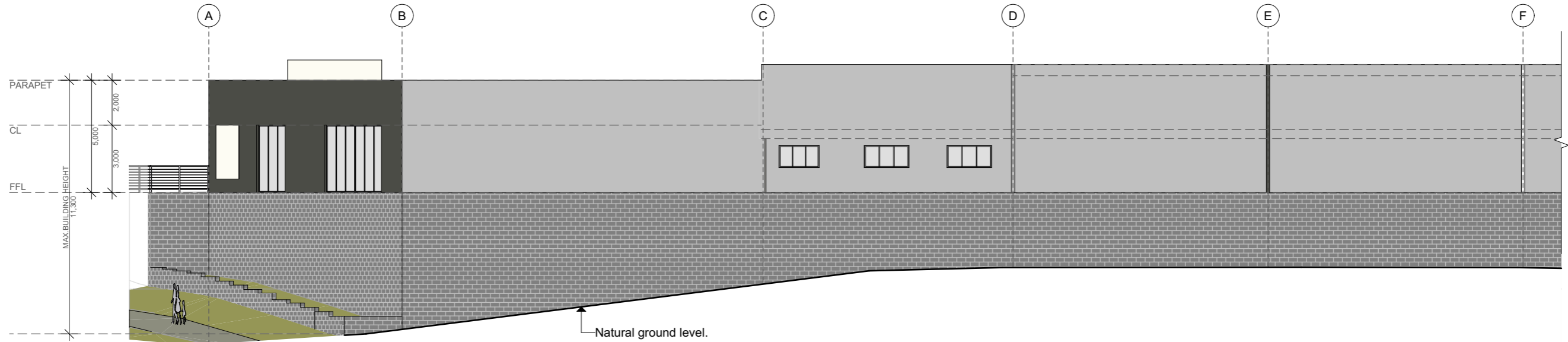
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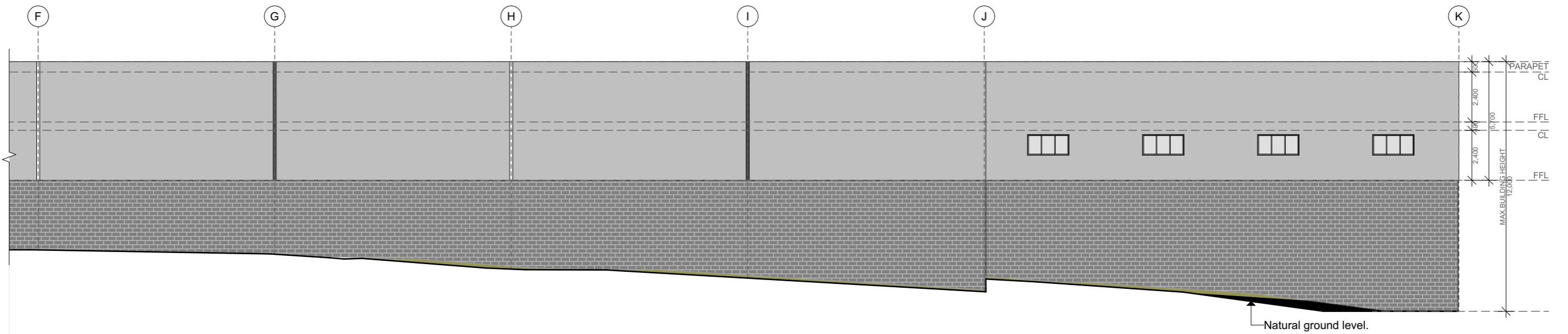
Warehouses & Showroom
01 Elevations

KEY

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1
-
NE Elevation
1:200 @ A3



2
-
NE Elevation
1:200 @ A3

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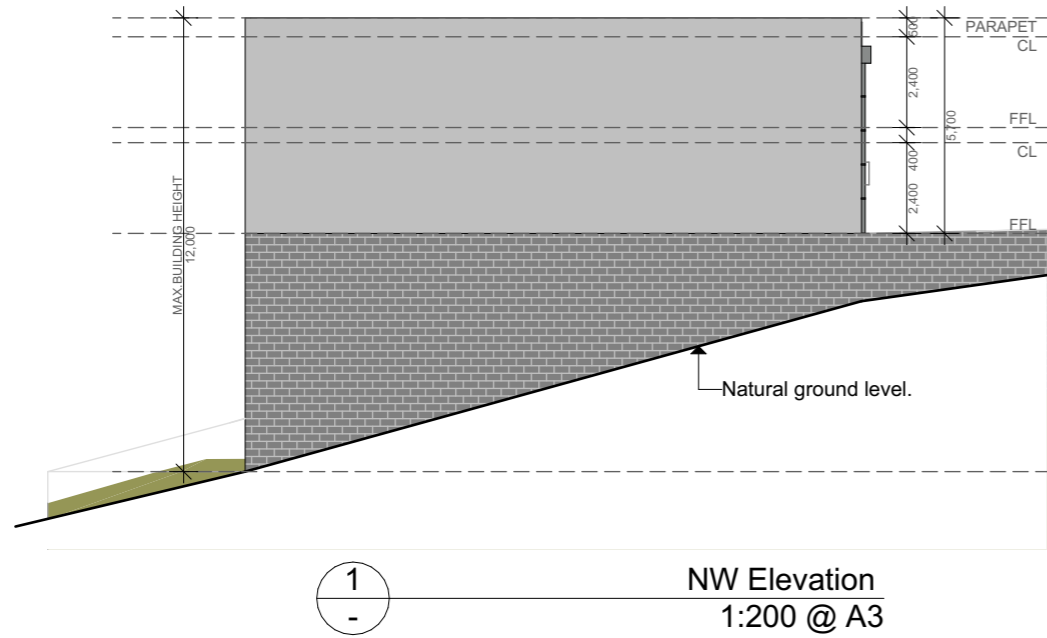
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Warehouses & Showroom
 01 Elevations

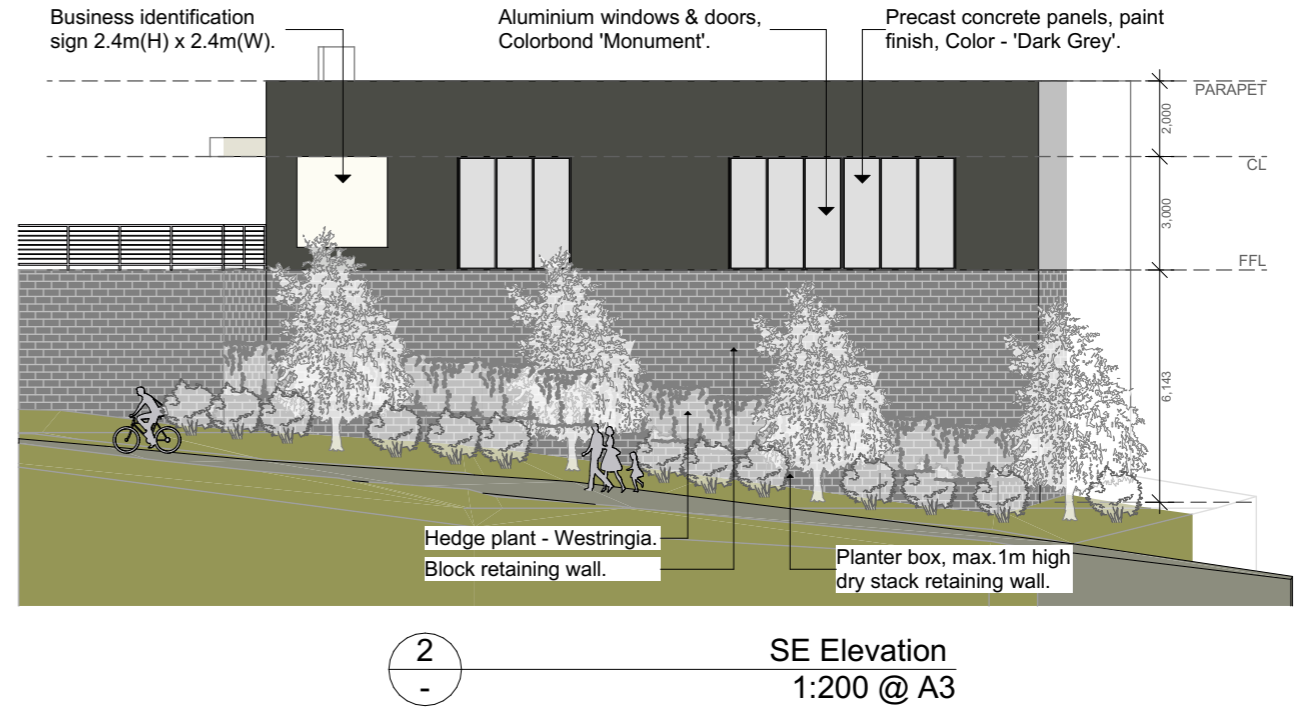
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W8

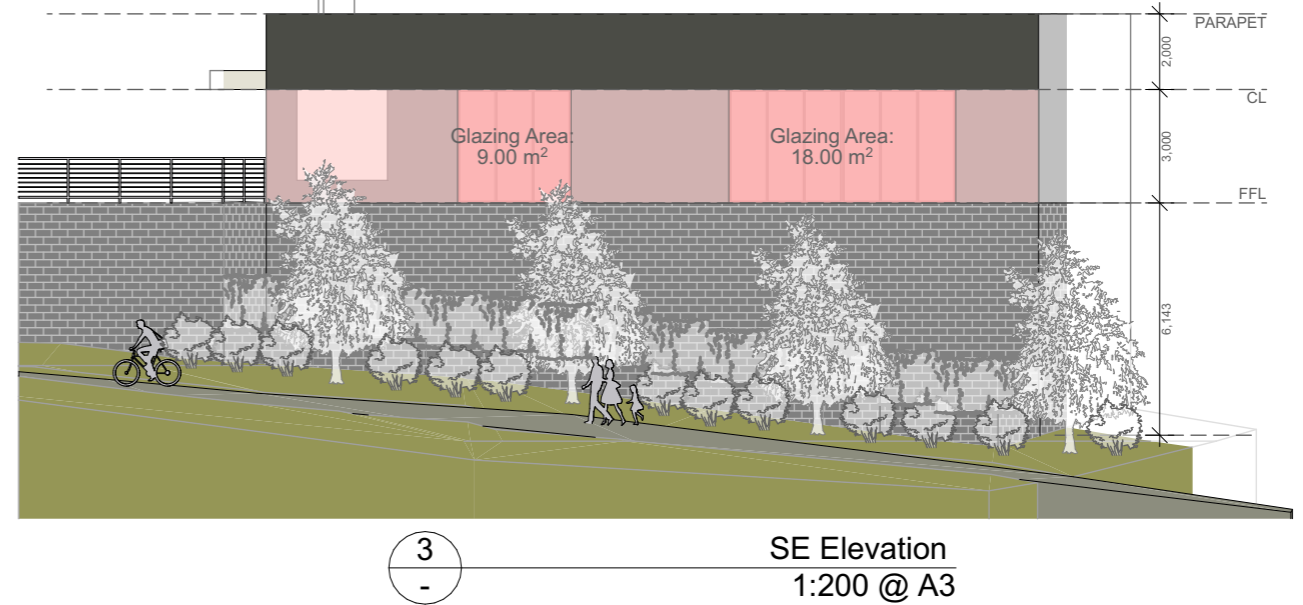


SHOWROOM 01



SHOWROOM 01

Total Area: 61.28 m²
Total Glazing Area: 27m²
Glazing Area: 44%



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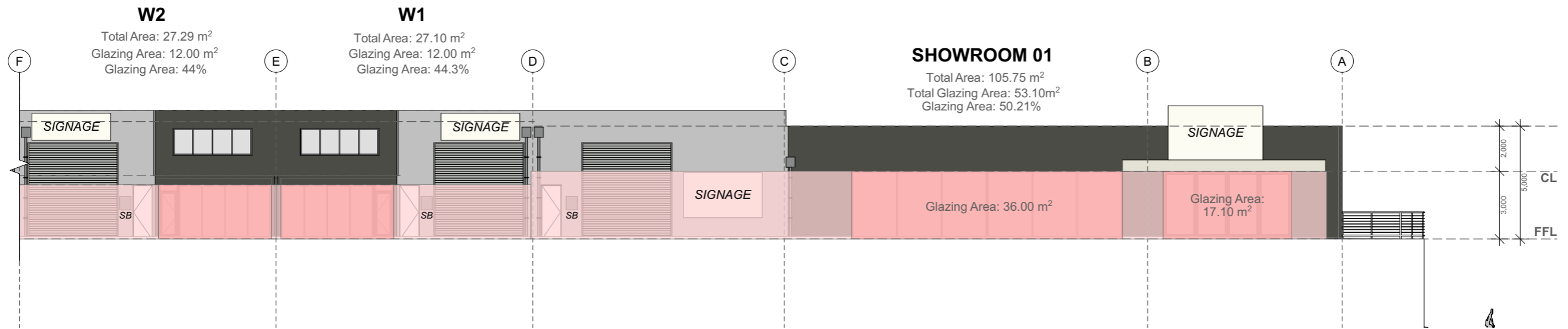
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REVISION: **C**

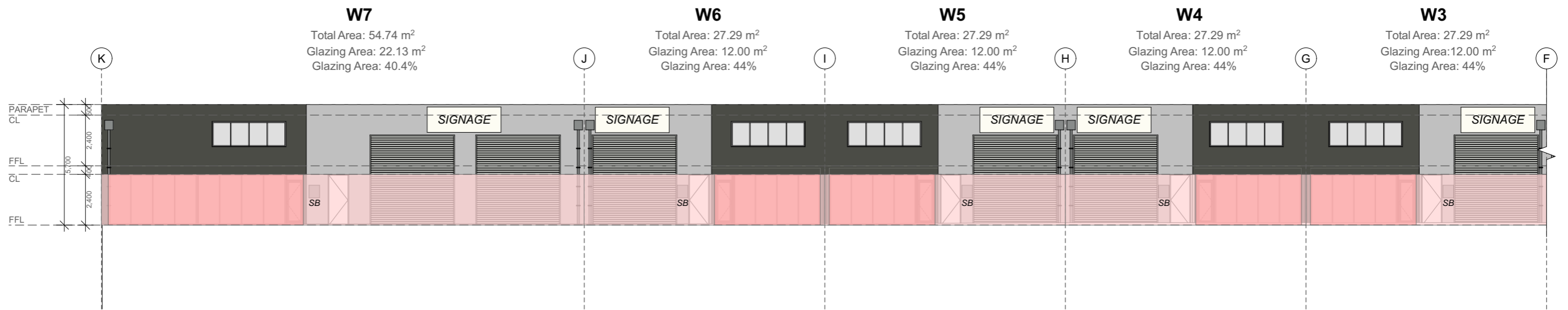
A11.0

Warehouse 8 & Showroom
01 Elevations

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1
-
South Elevation
1:200 @ A3



2
-
South Elevation
1:200 @ A3

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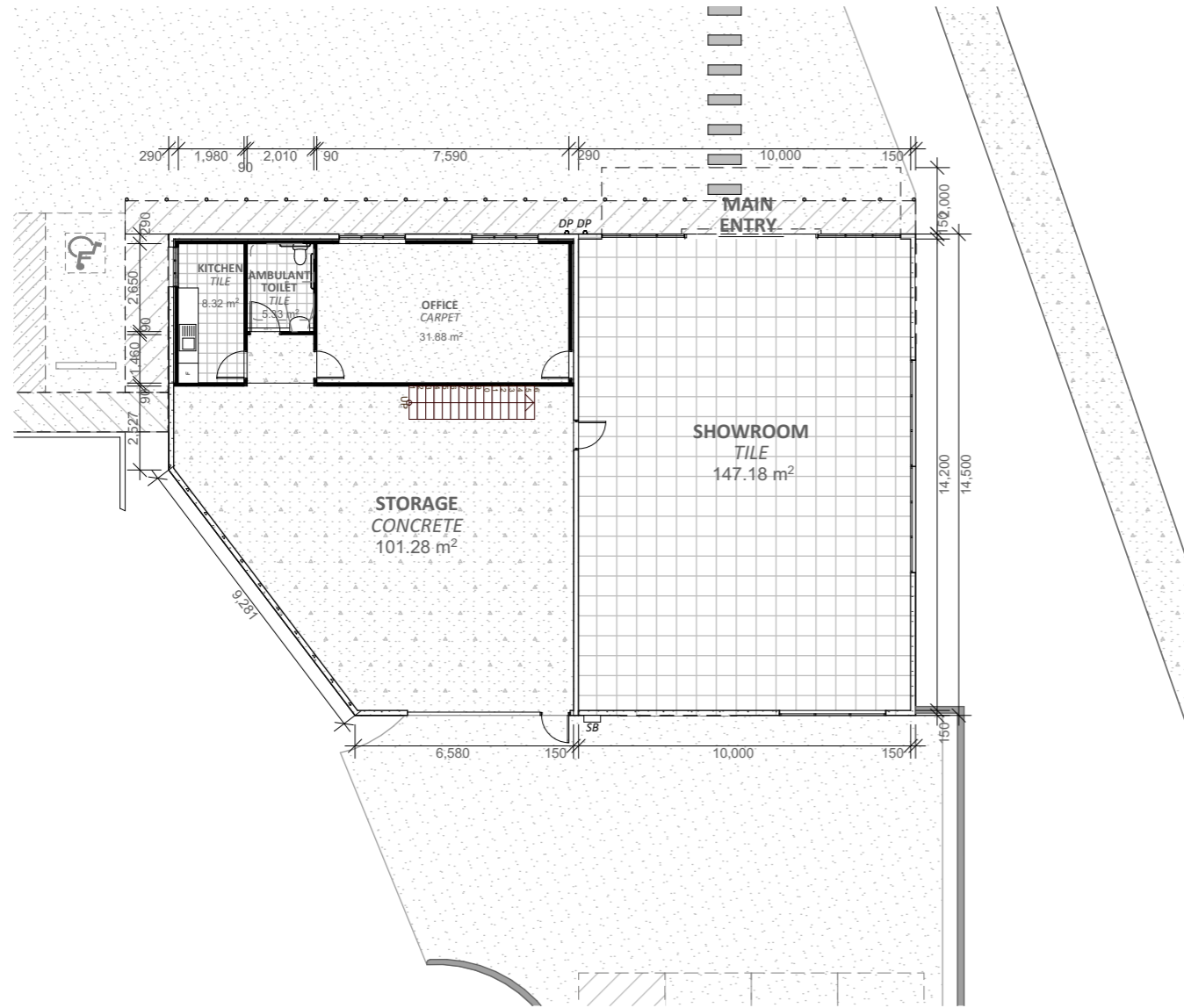
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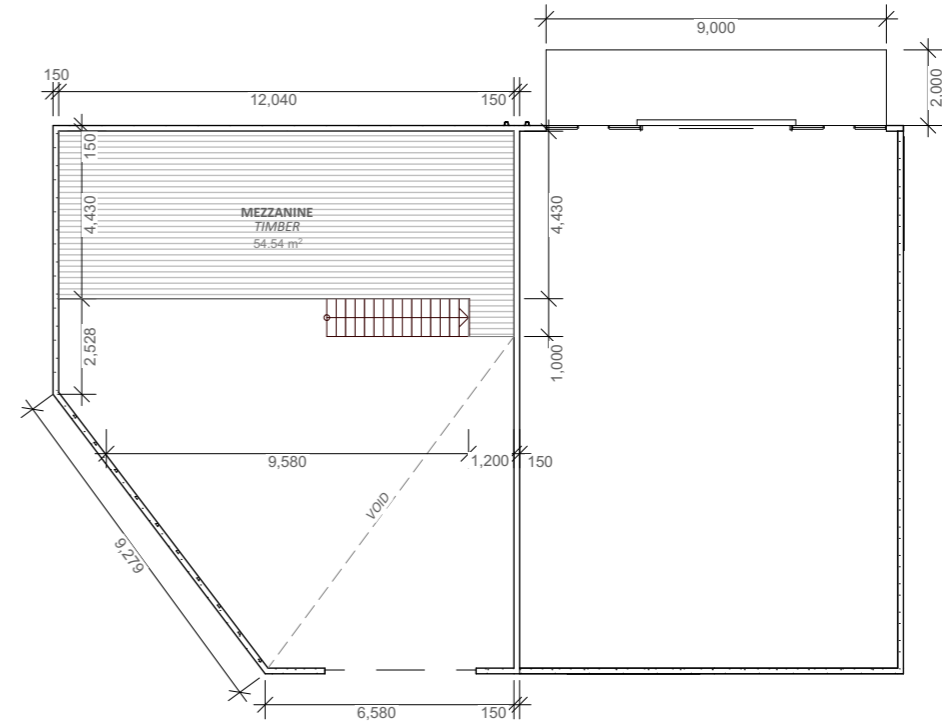
Warehouses & Showroom
01 - Glazing Calculation

KEY

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1 Showroom 02 - Ground Floor
1:200 @ A3

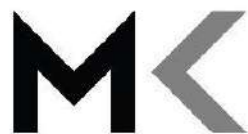


2 Showroom 02 - First Floor
1:200 @ A3

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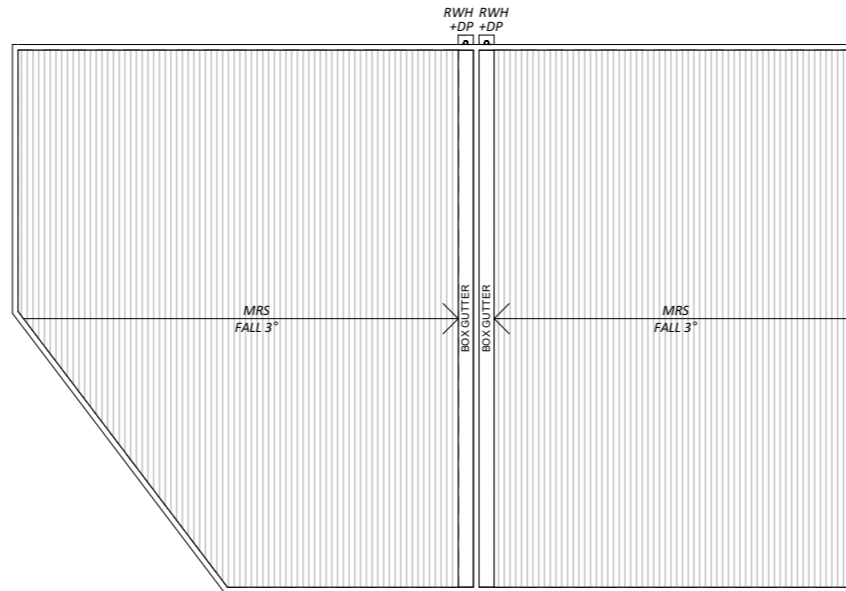


A13.0

Showroom 02 Floor Plan

KEY

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2
-

Showroom 02 - First Floor
1:200 @ A3

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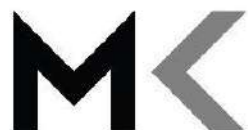
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DATE **27/09/2024**
SCALE **1:200@A3**

REVISION **C**

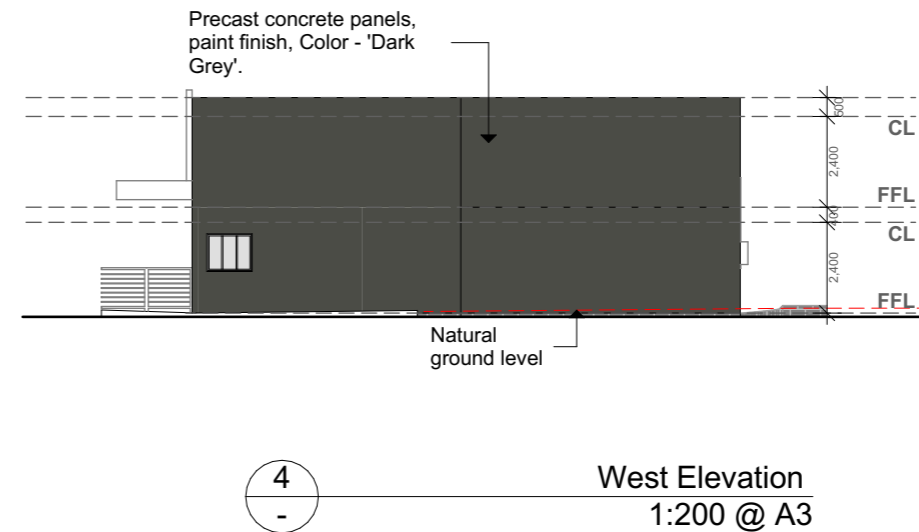
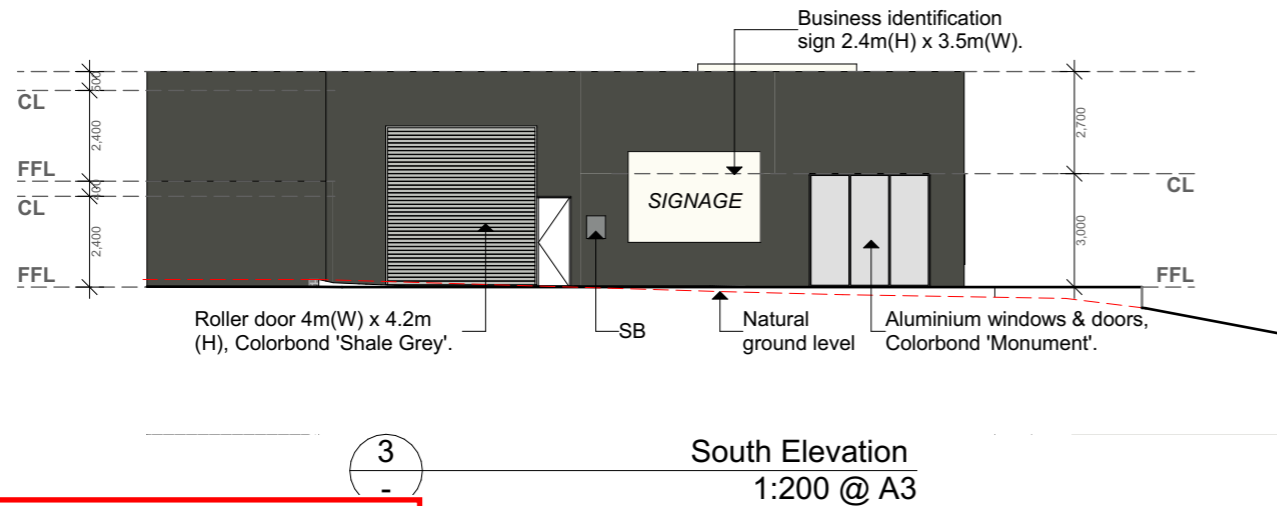
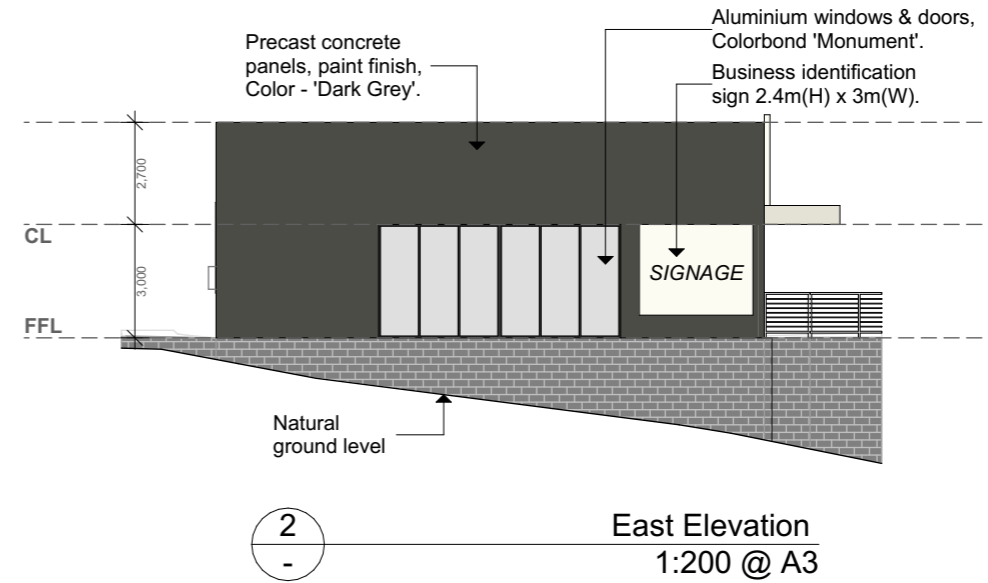
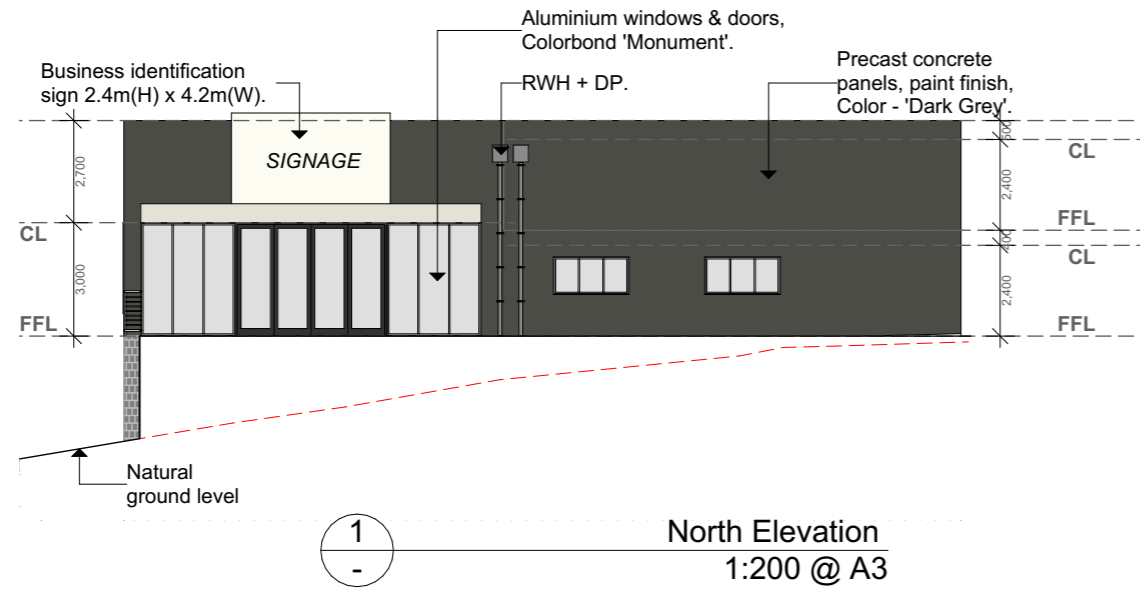


A14.0

Showroom 02 Roof Plan

KEY

- DP Rainwater Downpipe
- FFL Finished Floor Level
- HWS Hot Water System
- MRS Metal Roof Sheeting
- RWH Rainwater Head
- SB Switchboard



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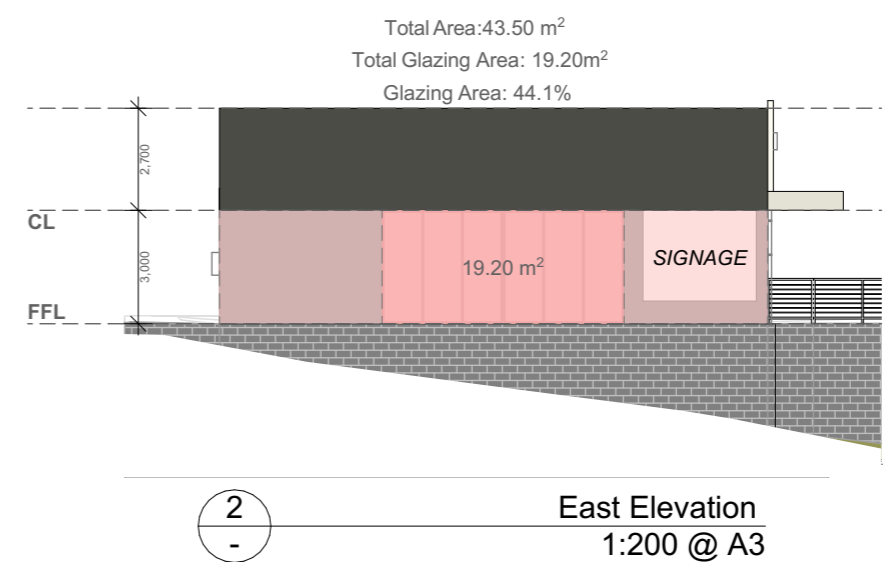
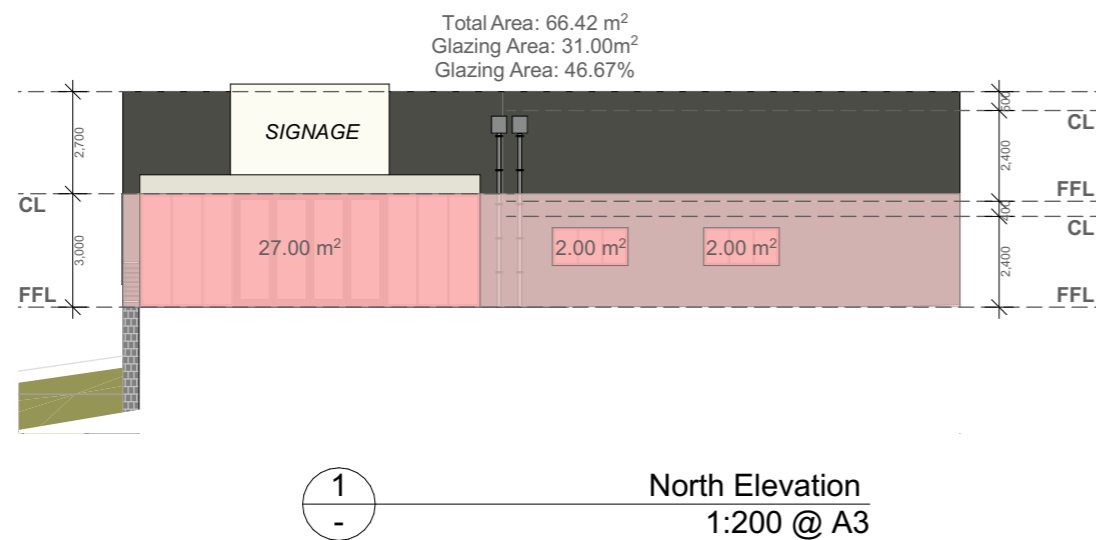
JOB NO: xxx
 PROPOSAL: NEW WAREHOUSES & SHOWROOMS
 PROJECT STAGE: DA

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A15.0

Showroom 02 Elevations



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A16.0
 Showroom 02 - Glazing
 Calculation



Artist Impression

Kingborough Council

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A17.0

3D Visualisations



Artist Impression

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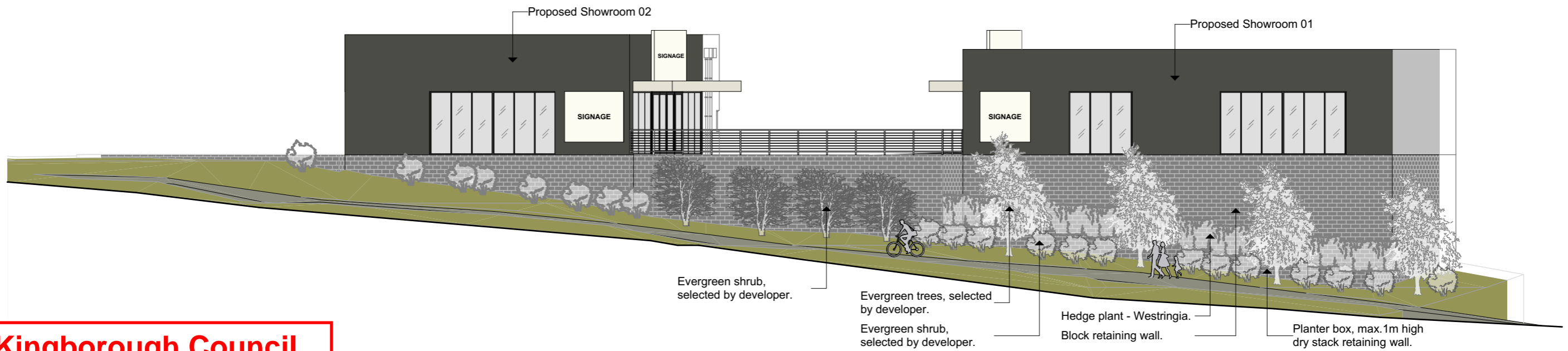
A18.0

3D Visualisations



3D VISUALISATION

Artist Impression

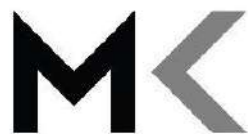


STREETSCAPE - MARANOA ROAD

1:200 @ A3

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A19.0

RFI Response - Streetscape