

APPLICATION FOR PLANNING APPROVAL

Application Number: DA-2022-336

Proposal: Outbuilding (carport/shed - retrospective) with partial demolition of shed lean-to, outbuilding (garage/deck - retrospective), outbuilding (4 car garage), extension to outbuilding (garage/studio) and associated works (retrospective)

Subject Site: 136 Manuka Road, Oyster Cove

Responsible Planning Officer: Mary McNeill

Advertised Documents:

- Application Plans
- Environmental Management Plan
- Natural Values Assessment
- Landslide Risk Assessment

Available upon request:

- Application Form
- Copy of Title

NOTE: The documents included for advertising (public notice) have been provided by the applicant. The advertising of the documentation does not confirm that Council agrees with, or endorses, the content or assessments.

Representations:

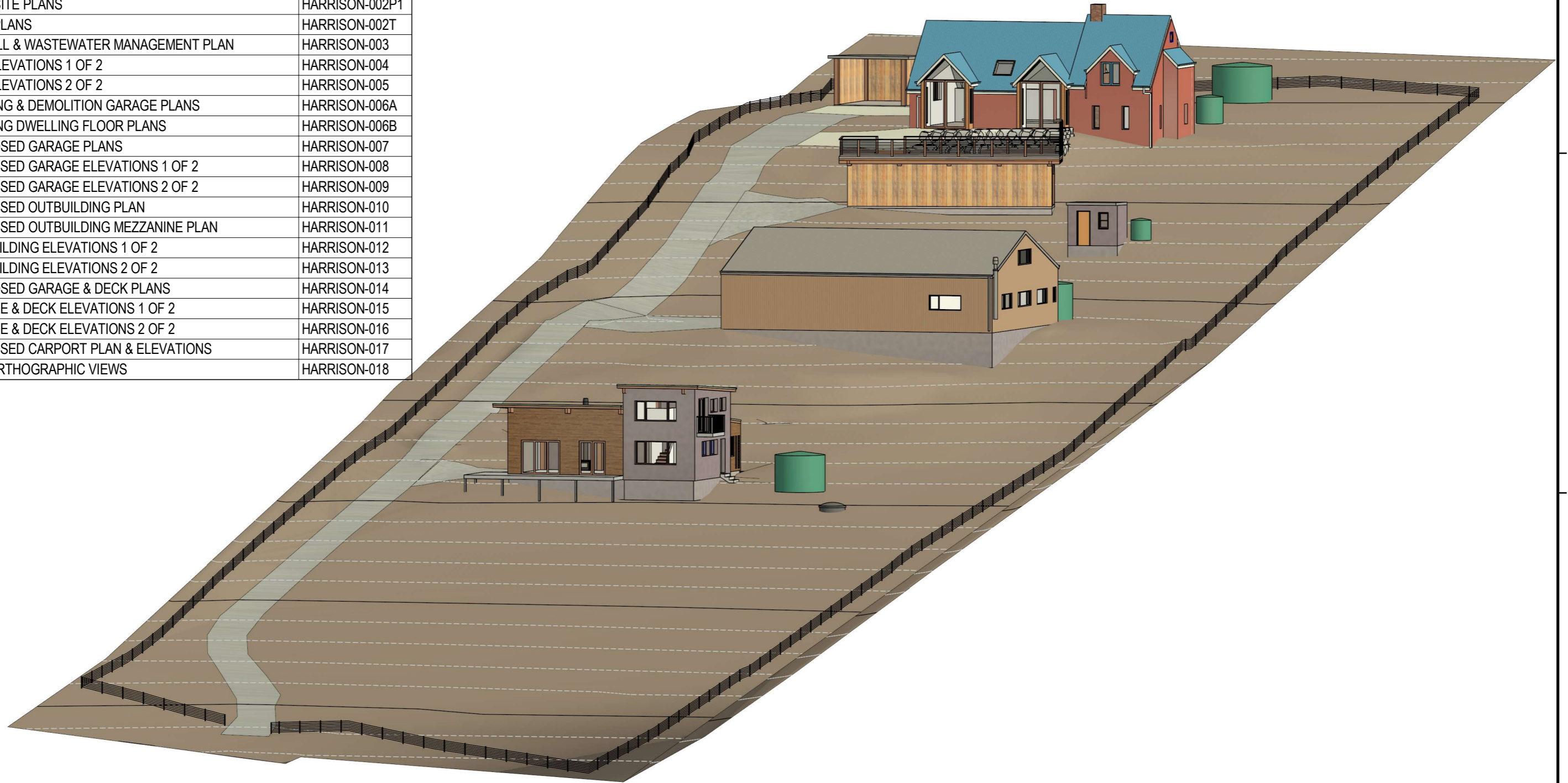
Representations must be provided in writing to Council stating the reasons why you support or object to the application. Representations for this application must be submitted by 11.59pm on **6 August 2024**; and can be delivered in person to the Civic Centre, posted to Locked Bag 1, Kingston 7050 or emailed to kc@kingborough.tas.gov.au.



Kingborough Council
 Development Application: DA-2022-336
 Plan Reference No.: P7
 Date Received: 11/07/2024
 Date placed on Public Exhibition: 24/07/2024

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REV.	DESCRIPTION	DATE
0	ISSUED FOR REVIEW	16-05-2023
1	ISSUED FOR REVIEW	03-08-2023
2	RE-ISSUED FOR DEVELOPMENT APPROVAL	27-11-2023
3	RE-ISSUED FOR DEVELOPMENT APPROVAL	23-05-2024
4	TREE PLAN & SCHEDULE CREATED	25-06-2024
5	TREE REMOVAL SCHEDULE AMENDED	11-07-2024

REFERENCE
REFER TO COVER SHEET HARRISON-000

DESIGNED	HDG
DRAWN	J.G
CHECKED	A.W

HARGREAVES DESIGN GROUP
 ABN 76 001 322 313
 2/17 Bayfield Street, Rosny Park, TAS 7018
 Office Phone: (03) 6234 6185
 Email: hobart@hargreaves.design
 Website: www.hargreaves.design
 Building Designer Licence Nos. 695791616 & DP-AD 13882

CLIENT	T.HARRISON		
TITLE	MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150 PROPOSED OUTBUILDINGS COVER SHEET		
DRG No.	HARRISON	SHT. 000	SCALE A3

GENERAL NOTES:

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH HARGREAVES DESIGN STANDARD BUILDING NOTES, SHEETS STANDARD-001 TO 011.
2. WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE.
3. BUILDER TO VERIFY ALL BOUNDARY CLEARANCES AND SITE SET-OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. ALL CONSTRUCTION WORK SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS.
5. TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 1684.2 "TIMBER FRAMED CONSTRUCTION". T.P. DECK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLICATION FROM THE TIMBER PROMOTION COUNCIL "TIMBER DECKS - DESIGN AND CONSTRUCTION MANUAL".
6. FOOTINGS AND SLABS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 2870 "RESIDENTIAL SLABS AND FOOTINGS".
7. PLUMBING AND DRAINAGE SHALL BE IN ACCORDANCE WITH AS 3500.2 AND AS 3500.3 "THE NATIONAL PLUMBING AND DRAINAGE CODE". FIT ADJUSTABLE TEMPERING VALVES TO ALL ABLUTIONS IN ACCORDANCE WITH AS 1529 "CODE OF PRACTICE OF HOUSEHOLD TYPE HOT WATER SUPPLY SYSTEMS".
8. WATER PROOFING OF WET AREAS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3740 "WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS".
9. ELECTRICAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS/NZS 3000 "WIRING RULES". SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH TASMANIAN FIRE SERVICE AND AS 3786 "SMOKE ALARMS".
10. GLAZING SHALL BE IN ACCORDANCE WITH AS 1288 "GLASS IN BUILDINGS - SELECTION AND INSTALLATION", WINDOWS TO COMPLY WITH AS 2047 "WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION".
11. ALL STEELWORK SHALL BE IN ACCORDANCE WITH AS 4100 "STEEL STRUCTURES".

SITE DATA:

LAND TITLE REF. No. : LOT 1 ON SEALED PLAN 229319
 CLIMATE ZONE : ZONE 7
 DESIGN WIND SPEED : N1
 SOIL CLASSIFICATION : CLASS P
 BAL RATING : T.B.A

BUILDING AREAS:

EXISTING DWELLING : 220.0m²
 EXISTING GARAGE : 130.0m²
 EXISTING SHED : 10.0m²

PROPERTY INFORMATION:

PLANNING ZONE : 14.0 ENVIRONMENTAL LIVING
 PLANNING CODE OVERLAY : LANDSLIDE HAZARD AREA
 : BUSHFIRE PRONE AREA,
 : BIODIVERSITY PROTECTION AREA

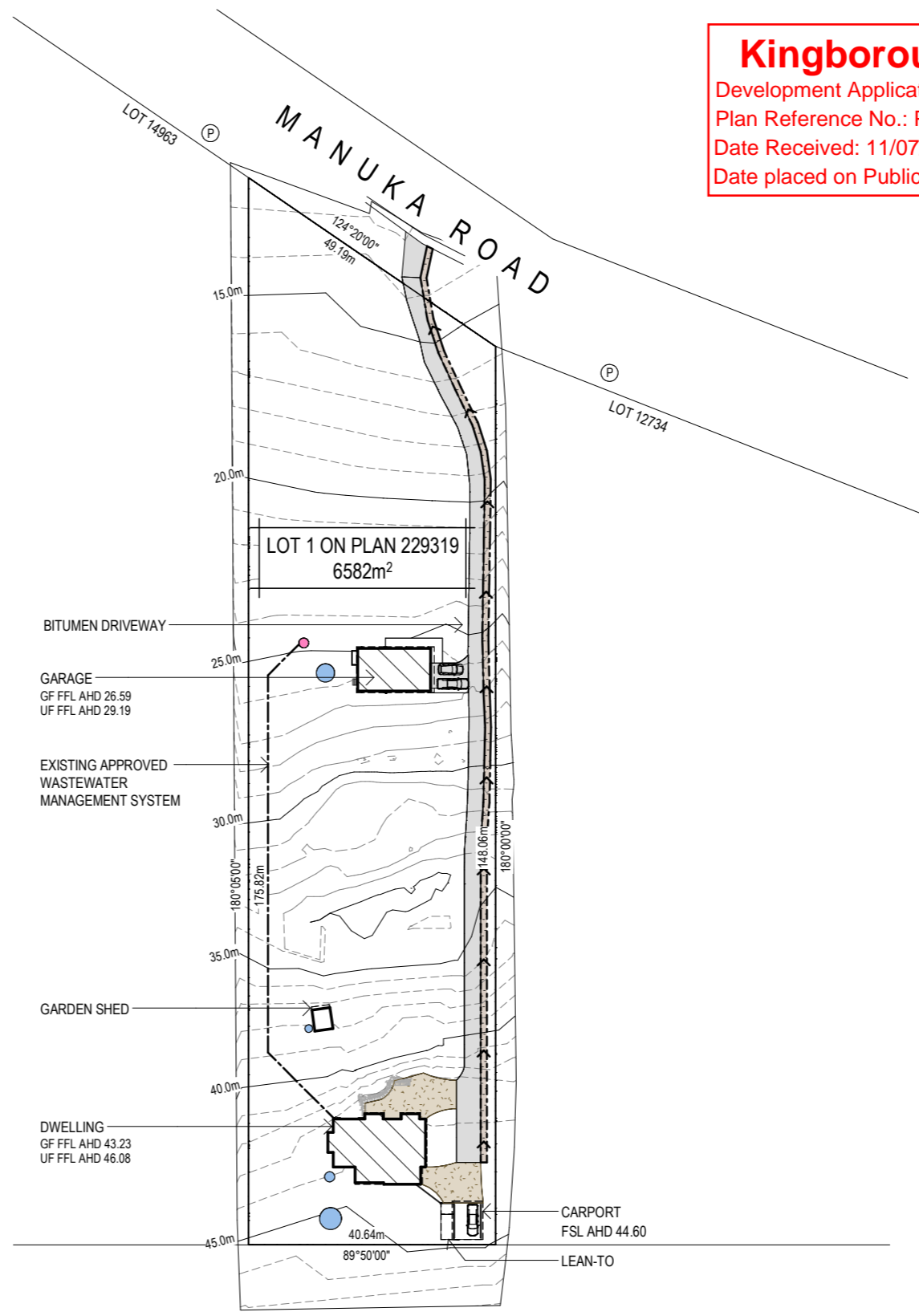
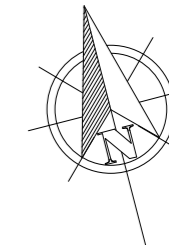
SITE COVERAGE:

LOT SIZE : 6582m²
 TOTAL FOOTPRINT : 253.0m²
 SITE COVERAGE : 3.84%

REFER ENVIRODYNAMICS ENVIRONMENTAL MANAGEMENT PLAN FOR 136 MANUKA ROAD, OYSTER COVE DATED 22 MAY 2024

Kingborough Council

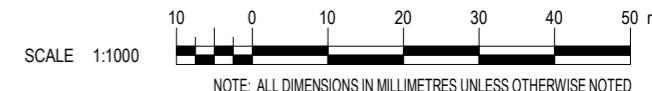
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EXISTING SITE PLAN
 SCALE 1 : 1000 @ A3

SITE PLAN LEGEND:

- EXISTING BITUMEN DRIVEWAY
- PROPOSED BITUMEN DRIVEWAY
- GRAVEL
- BUILDINGS
- POWER POLE
- SEPTIC TANK
- PROPOSED RAINTANKS
- EXISTING RAINTANKS AT VARIOUS SIZES



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REFERENCE
REFER TO COVER SHEET HARRISON-000

DESIGNED	HDG
DRAWN	J.G
CHECKED	A.W

HARGREAVES DESIGN GROUP

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 2/17 Bayfield Street, Rosny Park, TAS 7018
 Office Phone: (03) 6234 6185
 Email: hobart@hargreaves.design
 Website: www.hargreaves.design

Building Designer Licence Nos. 695791616 & DP-AD 13882

CLIENT	T.HARRISON		
TITLE	MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150 PROPOSED OUTBUILDINGS EXISTING SITE PLAN		
DRG No.	HARRISON	SHT.	001
		SCALE	As indicated
			A3

GENERAL NOTES:

1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH HARGREAVES DESIGN STANDARD BUILDING NOTES, SHEETS STANDARD-001 TO 011.
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SITE DATA:

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 CLIMATE ZONE : ZONE 7
 DESIGN WIND SPEED : N1
 SOIL CLASSIFICATION : CLASS P
 BAL RATING : T.B.A

PROPOSED BUILDING AREAS:

1. GARAGE INC. ADDITION : 138.2m²
2. OUTBUILDING : 218.0m²
3. GARAGE & DECK OVER : 53.0m²
4. CARPORT : 38.0m²

SITE COVERAGE:

LOT SIZE : 6582.0m²
 TOTAL FOOTPRINT : 562.2m²
 SITE COVERAGE : 8.54%

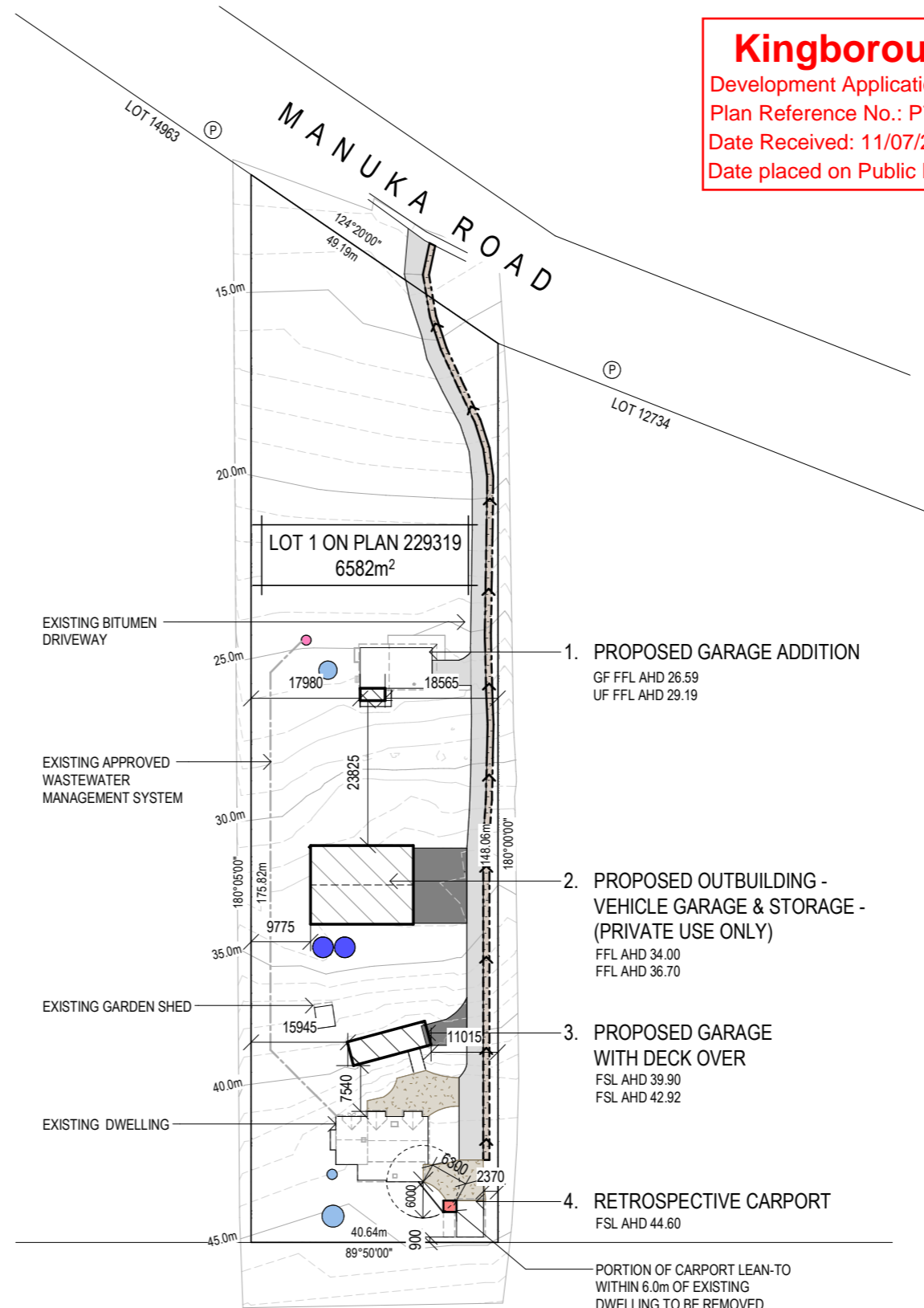
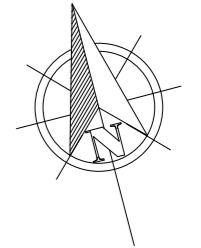
PROPERTY INFORMATION:

PLANNING ZONE : 14.0 ENVIRONMENTAL LIVING
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 : BUSHFIRE PRONE AREA,
 : BIODIVERSITY PROTECTION AREA

REFER ENVIRODYNAMICS ENVIRONMENTAL MANAGEMENT PLAN FOR 136 MANUKA ROAD, OYSTER COVE DATED 22 MAY 2024

Kingborough Council

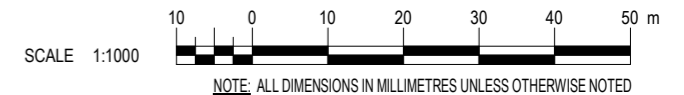
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SITE PLAN
 SCALE 1 : 1000 @ A3

SITE PLAN LEGEND:

- EXISTING BITUMEN DRIVEWAY
- PROPOSED BITUMEN DRIVEWAY
- GRAVEL
- BUILDINGS
- POWER POLE
- SEPTIC TANK
- PROPOSED RAINTANKS
- EXISTING RAINTANKS AT VARIOUS SIZES



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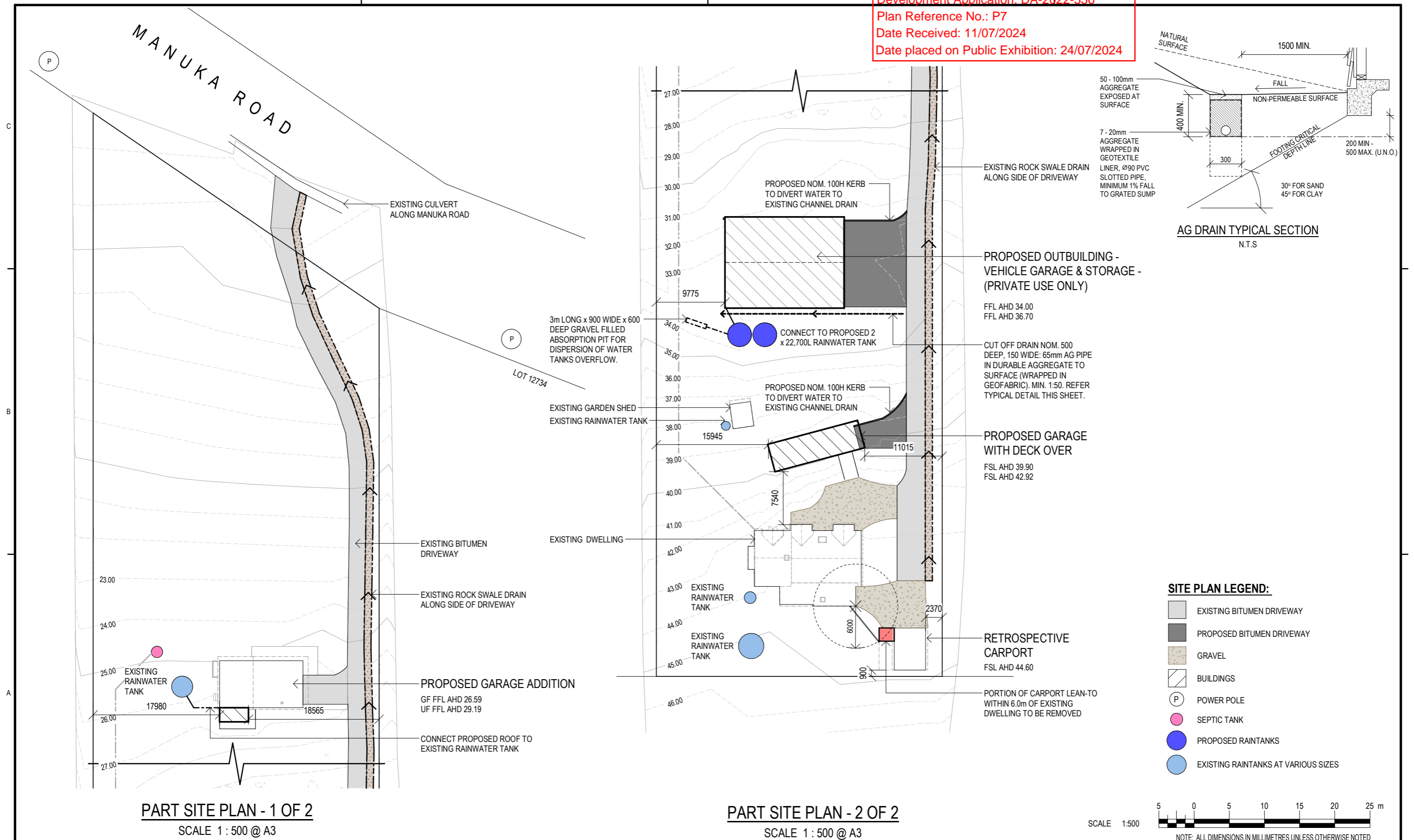
DESIGNED	HDG
DRAWN	J.G
CHECKED	A.W

REFER TO COVER SHEET HARRISON-000

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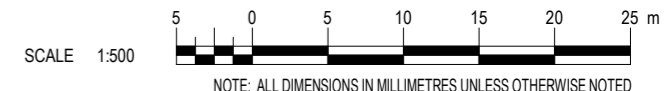
CLIENT	T.HARRISON
TITLE	MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150 PROPOSED OUTBUILDINGS PROPOSED SITE PLAN
DRG No.	HARRISON
SHT.	002
SCALE	As indicated
A3	

DRG No.	HARRISON	SHT.	002	SCALE	As indicated	A3
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PART SITE PLAN - 1 OF 2
SCALE 1 : 500 @ A3

PART SITE PLAN - 2 OF 2
SCALE 1 : 500 @ A3



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DRAWN	J.G.
CHECKED	A.W.

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Building Designer Licence Nos. 695791616 & DP-AD 13882

CLIENT	T.HARRISON		
TITLE	MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150 PROPOSED OUTBUILDINGS PART-SITE PLANS		
DRG No.	HARRISON	SHT.	002P1
SCALE	As indicated	A3	

Kingborough Council

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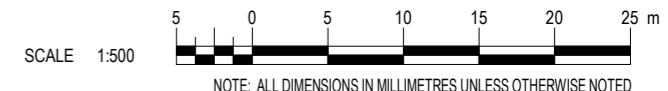
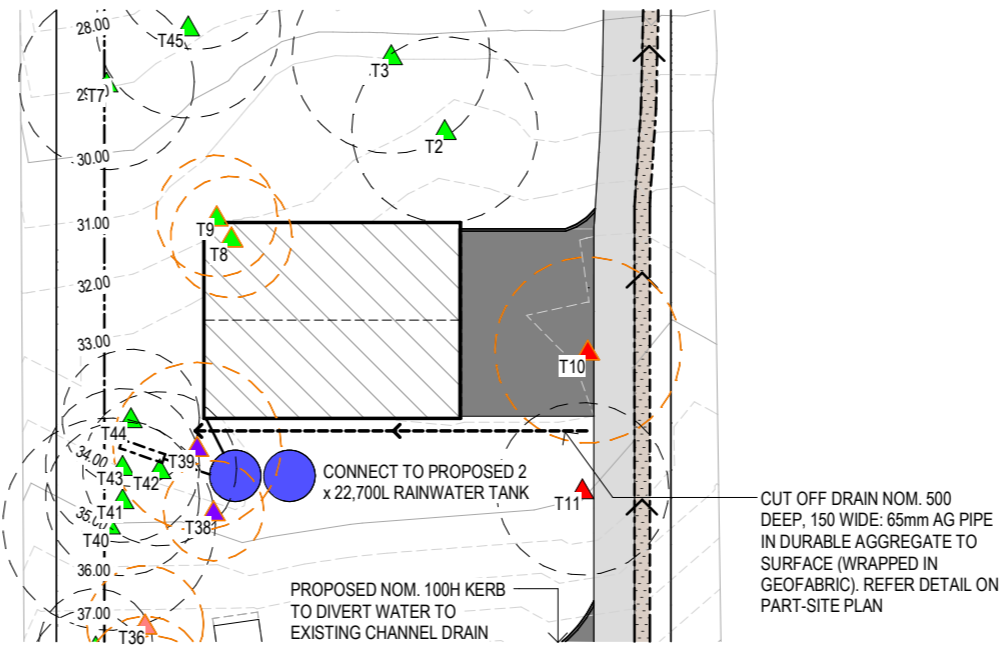
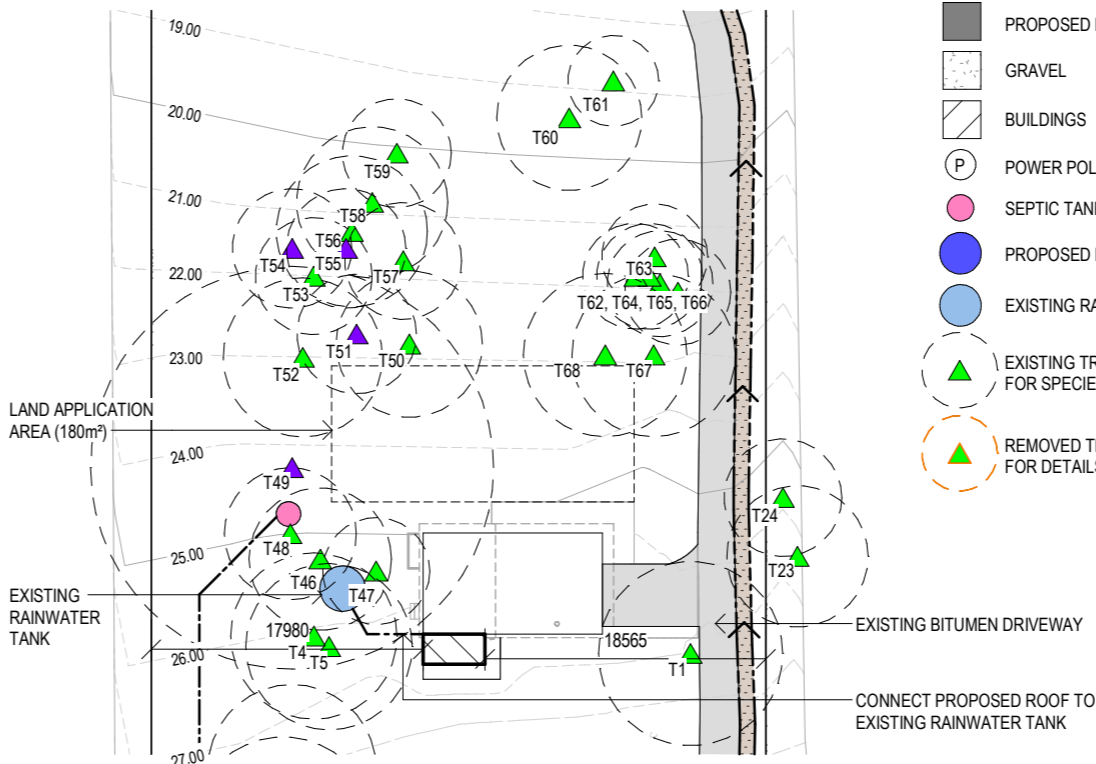
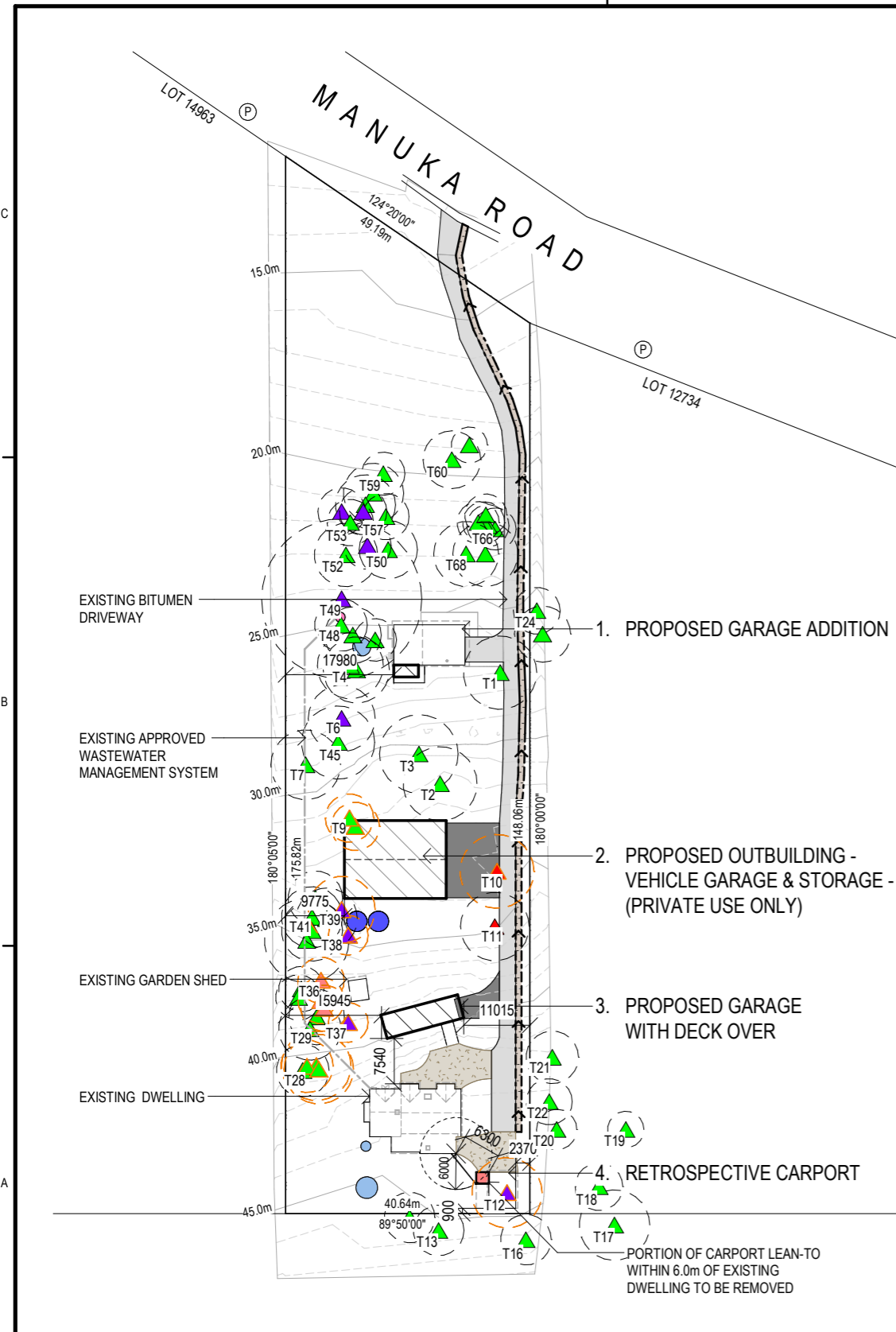
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SITE PLAN LEGEND:

- EXISTING BITUMEN DRIVEWAY
- PROPOSED BITUMEN DRIVEWAY
- GRAVEL
- BUILDINGS
- POWER POLE
- SEPTIC TANK
- PROPOSED RAINTANKS
- EXISTING RAINTANKS AT VARIOUS SIZES
- EXISTING TREE. REFER TO SCHEDULE FOR SPECIES
- REMOVED TREE. REFER TO SCHEDULE FOR DETAILS

TREE REMOVAL TABLE

NO.	SPECIES	STATUS
T1	Eucalyptus amygdalina	To be retained
T2	Eucalyptus amygdalina	To be retained
T3	Eucalyptus amygdalina	To be retained
T4	Eucalyptus amygdalina	To be retained
T5	Eucalyptus amygdalina	To be retained
T6	Eucalyptus obliqua	To be retained
T7	Eucalyptus amygdalina	To be retained
T8	Eucalyptus amygdalina	Removal required for proposed outbuilding (2)
T9	Eucalyptus amygdalina	Removal required for proposed outbuilding (2)
T10	Eucalyptus tenuiramis	Removal may be required for Outbuilding 2 Driveway
T11	Eucalyptus tenuiramis	To be retained
T12	Eucalyptus obliqua	Tree removed
T13	Eucalyptus amygdalina	To be retained
T14	Eucalyptus amygdalina	To be retained
T15	Eucalyptus amygdalina	To be retained
T16	Eucalyptus amygdalina	To be retained
T17	Eucalyptus amygdalina	To be retained
T18	Eucalyptus amygdalina	To be retained
T19	Eucalyptus amygdalina	To be retained
T20	Eucalyptus amygdalina	To be retained
T21	Eucalyptus amygdalina	To be retained
T22	Eucalyptus amygdalina	To be retained
T23	Eucalyptus amygdalina	To be retained
T24	Eucalyptus amygdalina	To be retained
T25	Eucalyptus species	Tree removed
T26	Eucalyptus species	Tree removed
T27	Eucalyptus species	Tree removed
T28	Eucalyptus amygdalina	To be retained
T29	Eucalyptus amygdalina	To be retained
T30	Eucalyptus amygdalina	To be retained
T31	Eucalyptus amygdalina	To be retained
T32	Eucalyptus species	Tree removed
T33	Eucalyptus amygdalina	To be retained
T34	Eucalyptus amygdalina	To be retained
T35	Eucalyptus species	Tree removed
T36	Eucalyptus species	Tree removed
T37	Eucalyptus obliqua	Tree removed
T38	Eucalyptus obliqua	Tree removed
T39	Eucalyptus obliqua	Tree removed
T40	Eucalyptus amygdalina	To be retained
T41	Eucalyptus amygdalina	To be retained
T42	Eucalyptus amygdalina	To be retained
T43	Eucalyptus amygdalina	To be retained
T44	Eucalyptus amygdalina	To be retained
T45	Eucalyptus amygdalina	To be retained
T46	Eucalyptus amygdalina	To be retained
T47	Eucalyptus amygdalina	To be retained
T48	Eucalyptus amygdalina	To be retained
T49	Eucalyptus obliqua	To be retained
T50	Eucalyptus amygdalina	To be retained
T51	Eucalyptus obliqua	To be retained
T52	Eucalyptus amygdalina	To be retained
T53	Eucalyptus amygdalina	To be retained
T54	Eucalyptus obliqua	To be retained
T55	Eucalyptus obliqua	To be retained
T56	Eucalyptus amygdalina	To be retained
T57	Eucalyptus amygdalina	To be retained
T58	Eucalyptus amygdalina	To be retained
T59	Eucalyptus amygdalina	To be retained
T60	Eucalyptus amygdalina	To be retained
T61	Eucalyptus amygdalina	To be retained
T62	Eucalyptus amygdalina	To be retained
T63	Eucalyptus amygdalina	To be retained
T64	Eucalyptus amygdalina	To be retained
T65	Eucalyptus amygdalina	To be retained
T66	Eucalyptus amygdalina	To be retained
T67	Eucalyptus amygdalina	To be retained
T68	Eucalyptus amygdalina	To be retained



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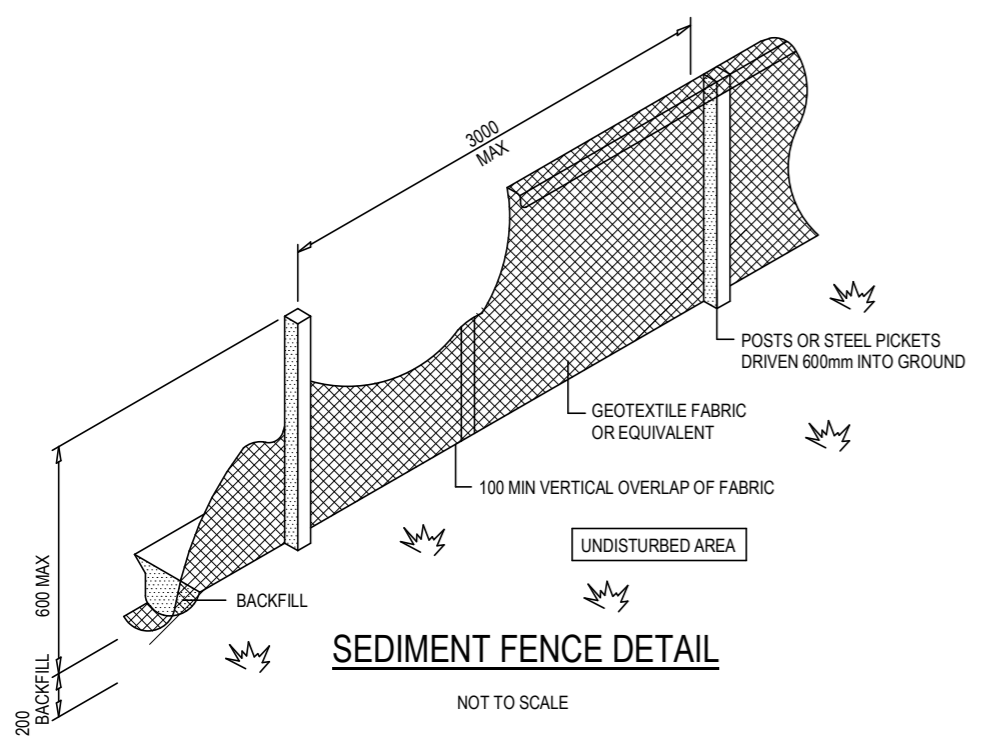
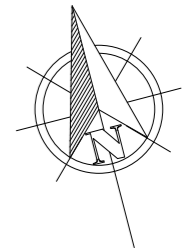
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CLIENT: T.HARRISON

TITLE: MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150 PROPOSED OUTBUILDINGS TREE PLANS

DRG No. HARRISON SHT. 002T SCALE As indicated A3

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LOCATION	CUT	FILL	NET CUT & FILL
GARAGE ADDITION	4.43m ³	0.28m ³	-4.16m ³
OUTBUILDING	135.31m ³	76.15m ³	-59.16m ³
GAR. W/ DECK OVER	8.72m ³	2.91m ³	-5.81m ³

NET CUT & FILL = -69.13m³

NOTES:

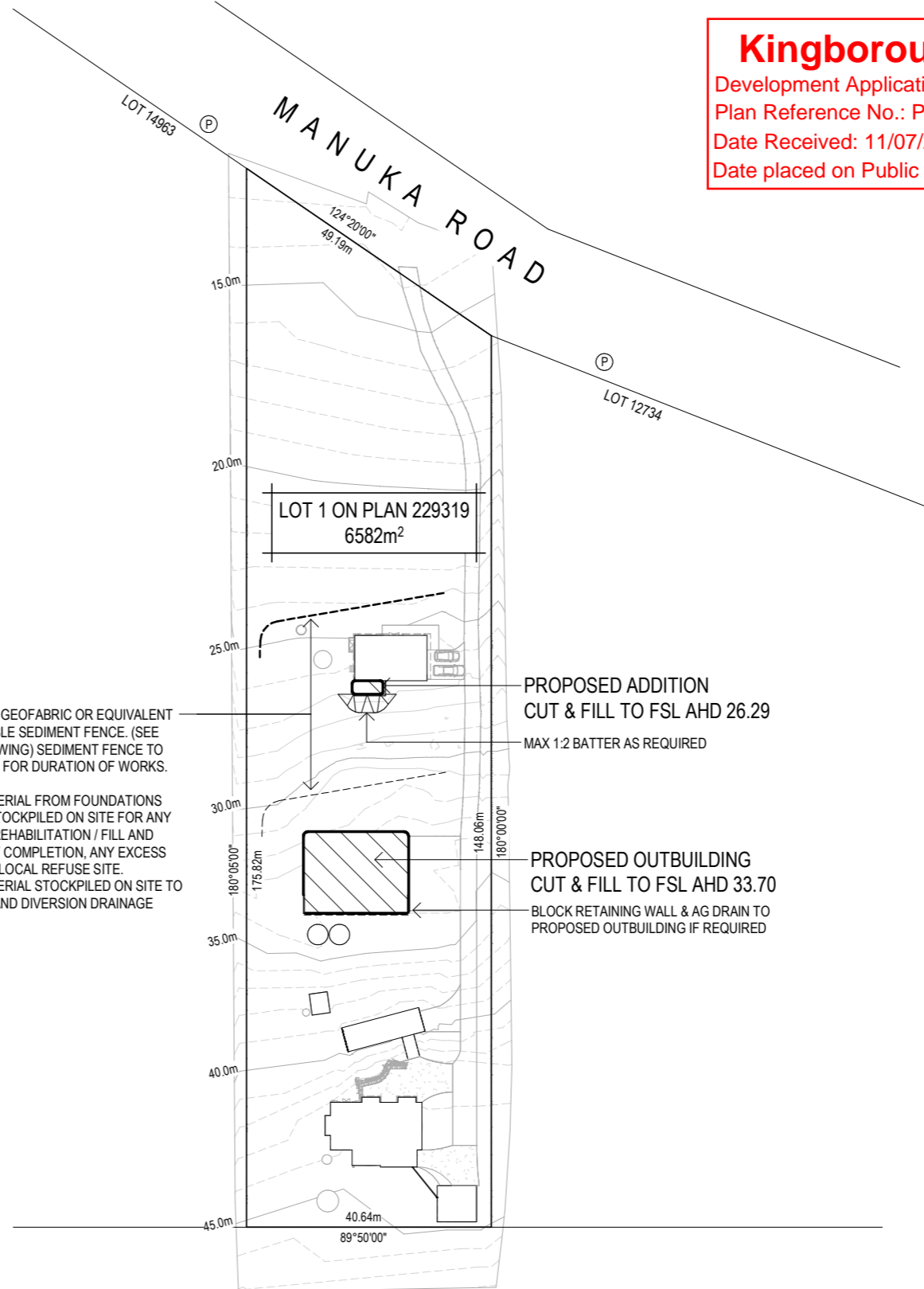
- IT IS THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL, MAINTAIN AND (UPON COMPLETION) REMOVE ALL SEDIMENT CONTROL MEASURES.
- SEDIMENT FENCE TO BE CHECKED AND CLEANED DAILY TO PREVENT BREAKAGE AND OVERTOPPING.
- PROVIDE TEMPORARY CONNECTION FROM DOWNPIPES TO STORMWATER DRAIN IMMEDIATELY FOLLOWING COMPLETION OF ROOF CLADDING, FASCIA AND GUTTER INSTALLATION. PERMANENT DOWNPIPE CONNECTION TO BE INSTALLED AT APPROPRIATE TIME OF DWELLING CONSTRUCTION.

PROTECTION WORKS NOTES:

- THE SITE/AREAS BEING EXCAVATED SHALL BE ADEQUATELY BARRICADED TO PROTECT THE CONTRACTORS OR PUBLIC FROM INJURY.

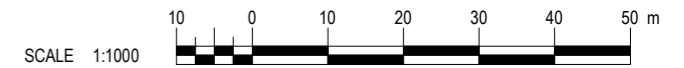
PROVIDE 2x 600H GEOFABRIC OR EQUIVALENT WATER PERMEABLE SEDIMENT FENCE. (SEE DETAIL THIS DRAWING) SEDIMENT FENCE TO REMAIN IN PLACE FOR DURATION OF WORKS.

EXCAVATED MATERIAL FROM FOUNDATIONS SHALL REMAIN STOCKPILED ON SITE FOR ANY REQUIRED SITE REHABILITATION / FILL AND LANDSCAPING AT COMPLETION, ANY EXCESS TO BE TAKEN TO LOCAL REFUSE SITE. EXCAVATED MATERIAL STOCKPILED ON SITE TO BE PROTECTED AND DIVERSION DRAINAGE PROVIDED.




CUT/FILL & WASTEWATER MANAGEMENT PLAN

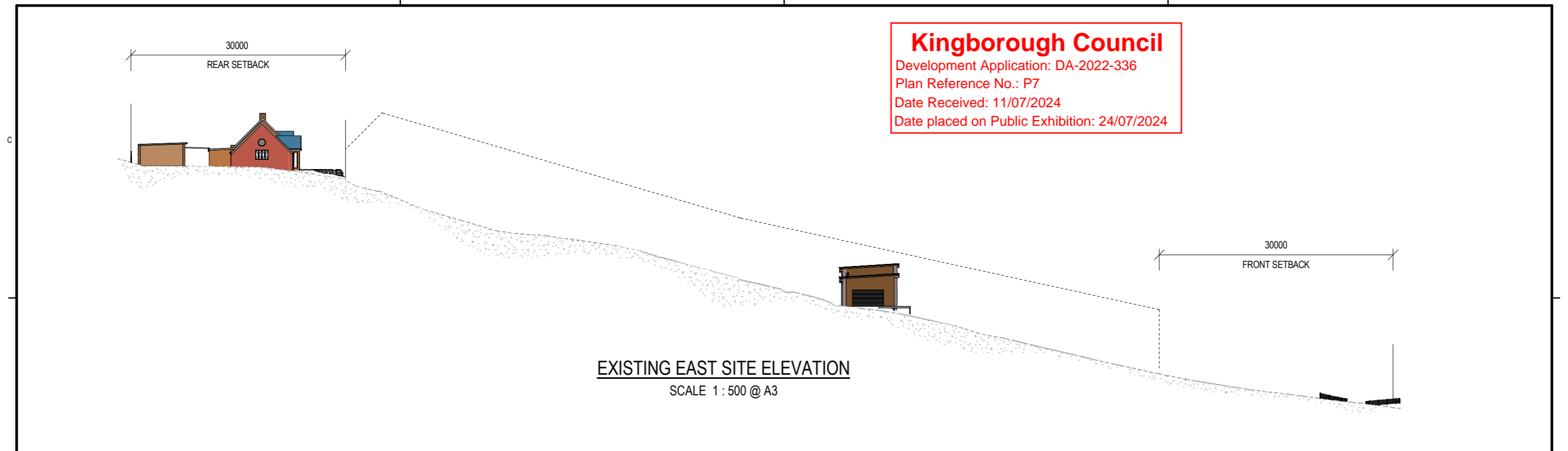
SCALE 1 : 1000 @ A3



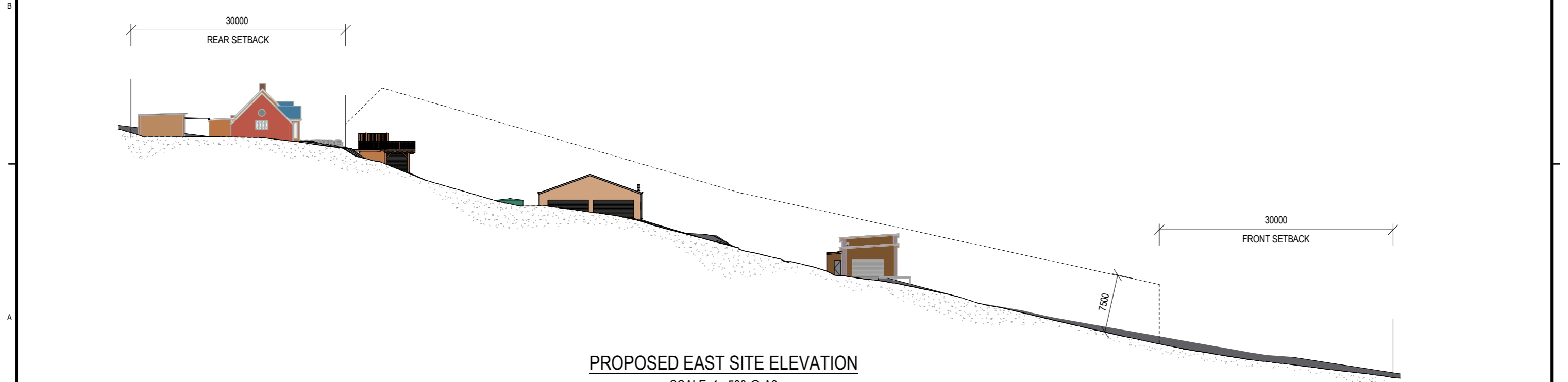
NOTE: ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED

REV.	DESCRIPTION	DATE	REFERENCE	DESIGNED	HDG	HARGREAVES DESIGN GROUP  ABN 76 001 322 313 2/17 Bayfield Street, Rosny Park, TAS 7018 Office Phone: (03) 6234 6185 Email: hobart@hargreaves.design Website: www.hargreaves.design Building Designer Licence Nos. 695791616 & DP-AD 13882	CLIENT	T.HARRISON			
0	ISSUED FOR REVIEW	16-05-2023		DRAWN	J.G		TITLE	MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150 PROPOSED OUTBUILDINGS CUT/FILL & WASTEWATER MANAGEMENT PLAN			
1	ISSUED FOR REVIEW	03-08-2023		CHECKED	A.W		DRG No.	HARRISON	SHT.	003	SCALE
2	RE-ISSUED FOR DEVELOPMENT APPROVAL	27-11-2023								As indicated	
3	RE-ISSUED FOR DEVELOPMENT APPROVAL	23-05-2024									
4	TREE PLAN & SCHEDULE CREATED	25-06-2024									
5	TREE REMOVAL SCHEDULE AMENDED	11-07-2024	REFER TO COVER SHEET HARRISON-000								

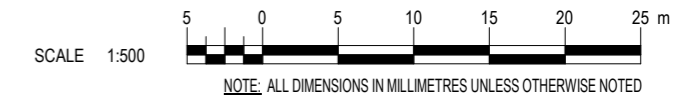
Kingborough Council
 Development Application: DA-2022-336
 Plan Reference No.: P7
 Date Received: 11/07/2024
 Date placed on Public Exhibition: 24/07/2024




EXISTING EAST SITE ELEVATION
 SCALE 1 : 500 @ A3



PROPOSED EAST SITE ELEVATION
 SCALE 1 : 500 @ A3



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0	ISSUED FOR REVIEW	16-05-2023		DRAWN	J.G		TITLE	MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150			
1	ISSUED FOR REVIEW	03-08-2023		CHECKED	A.W		PROPOSED OUTBUILDINGS				
2	RE-ISSUED FOR DEVELOPMENT APPROVAL	27-11-2023				SITE ELEVATIONS 1 OF 2					
3	RE-ISSUED FOR DEVELOPMENT APPROVAL	23-05-2024				DRG No.	HARRISON	SHT.	004	SCALE	1:500
4	TREE PLAN & SCHEDULE CREATED	25-06-2024									A3
5	TREE REMOVAL SCHEDULE AMENDED	11-07-2024	REFER TO COVER SHEET HARRISON-000								

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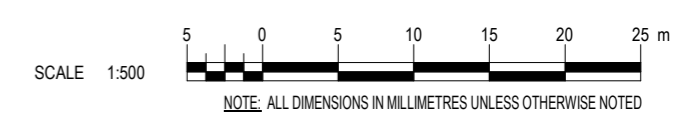
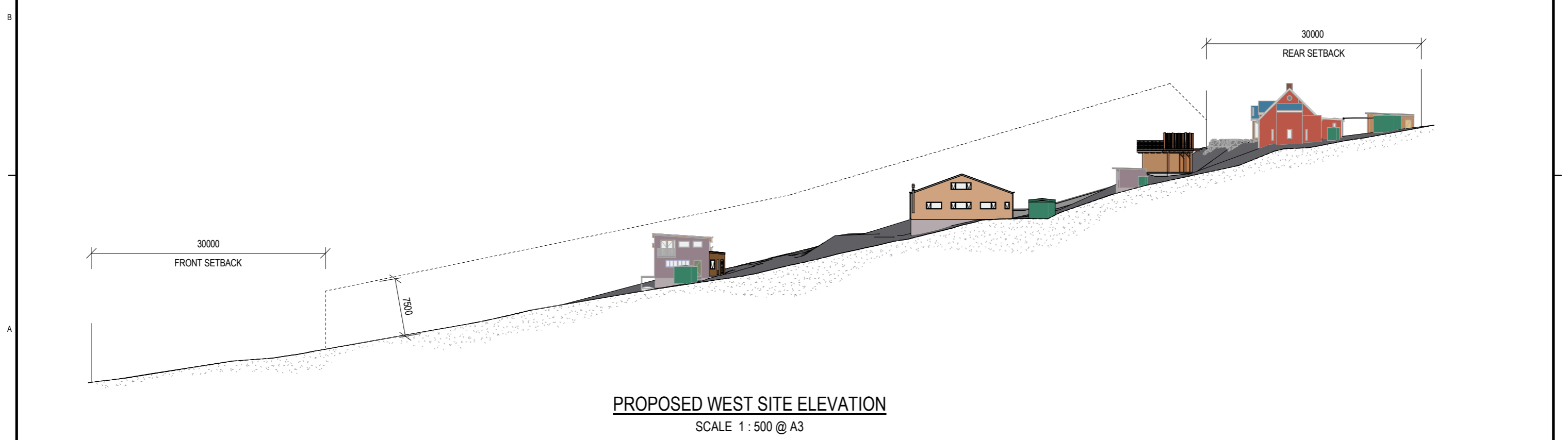
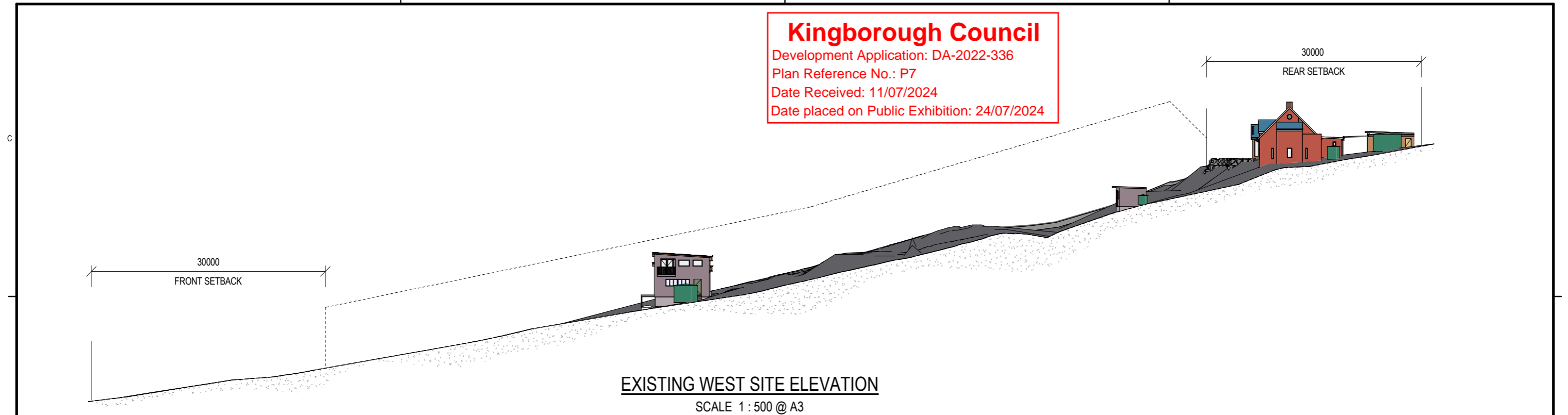
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3

4

Kingborough Council

Development Application: DA-2022-336
 Plan Reference No.: P7
 Date Received: 11/07/2024
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REV.	DESCRIPTION	REFERENCE	DESIGNED	HDC	CLIENT
0	ISSUED FOR REVIEW				T.HARRISON
1	ISSUED FOR REVIEW				TITLE
2	RE-ISSUED FOR DEVELOPMENT APPROVAL				MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150
3	RE-ISSUED FOR DEVELOPMENT APPROVAL				PROPOSED OUTBUILDINGS
4	TREE PLAN & SCHEDULE CREATED				SITE ELEVATIONS 2 OF 2
5	TREE REMOVAL SCHEDULE AMENDED	REFER TO COVER SHEET HARRISON-000			DRG No. HARRISON SHT. 005 SCALE 1:500 A3

HARGREAVES DESIGN GROUP
 ABN 76 001 322 313
 2/17 Bayfield Street, Rosny Park, TAS 7018
 Office Phone: (03) 6234 6185
 Email: hobart@hargreaves.design
 Website: www.hargreaves.design
 Building Designer Licence Nos. 695791616 & DP-AD 13882

DEMOLITION NOTES:

1. ALL DEMOLITION WORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE DEMOLITION WORK CODE OF PRACTICE.
2. ALL DEMOLITION TO BE CARRIED OUT DURING PERMIT HOURS ONLY.
3. EXISTING FENCES AND DRIVEWAY CROSSOVER TO REMAIN.
4. BUILDER TO PROVIDE ADEQUATE MEASURES TO PREVENT TRACKING OF MUD AND DEBRIS ONTO ROAD.
5. SEDIMENT TO BE ADEQUATELY CONTROLLED TO PREVENT ENTRY INTO COUNCIL INFRASTRUCTURE.
6. SITE TO BE KEPT CLEAN AND TIDY DURING DEMOLITION
7. ALL EXISTING STRUCTURES SHALL BE MAINTAINED IN A STABLE MANNER AND ALL TEMPORARY PROPPING SHALL BE DESIGNED AND CHECKED BY A QUALIFIED STRUCTURAL ENGINEER.
8. THE BUILDER IS RESPONSIBLE TO ENSURE THAT THE STRUCTURE REMAINS STABLE AND NO PART SHALL BE OVERSTRESSED.
9. RETAIN / RE-USE ANY BUILDING MATERIALS AS A CONSEQUENCE OF DEMOLITION.
10. DISPOSAL OF ALL WASTE MATERIAL SHALL BE AT AN APPROVED REFUSE SITE.
11. ISOLATE ELECTRICAL CONNECTIONS WHERE REQUIRED, REMOVE FITTINGS AND MAKE SAFE, BY LICENSED ELECTRICAL CONTRACTOR.
12. TERMINATE AND CAP PLUMBING TO THE SATISFACTION OF THE RELEVANT AUTHORITIES
13. ANY ASBESTOS REMOVAL IS TO COMPLY WITH STATE REMOVAL GUIDELINES
14. ALL TELEPHONE SERVICES TO BE CAPPED AND TERMINATED TO THE SATISFACTION OF THE RELEVANT AUTHORITIES, AS REQUIRED
15. GAS SUPPLY TO BE CAPPED AND TERMINATED TO THE SATISFACTION OF THE RELEVANT AUTHORITIES, AS REQUIRED

PROTECTION WORKS NOTES:

1. THE SITE / AREAS BEING DEMOLISHED SHALL BE ADEQUATELY BARRICADED TO PROTECT THE OCCUPANTS OR PUBLIC FROM INJURY.

FLOOR FINISHES LEGEND:

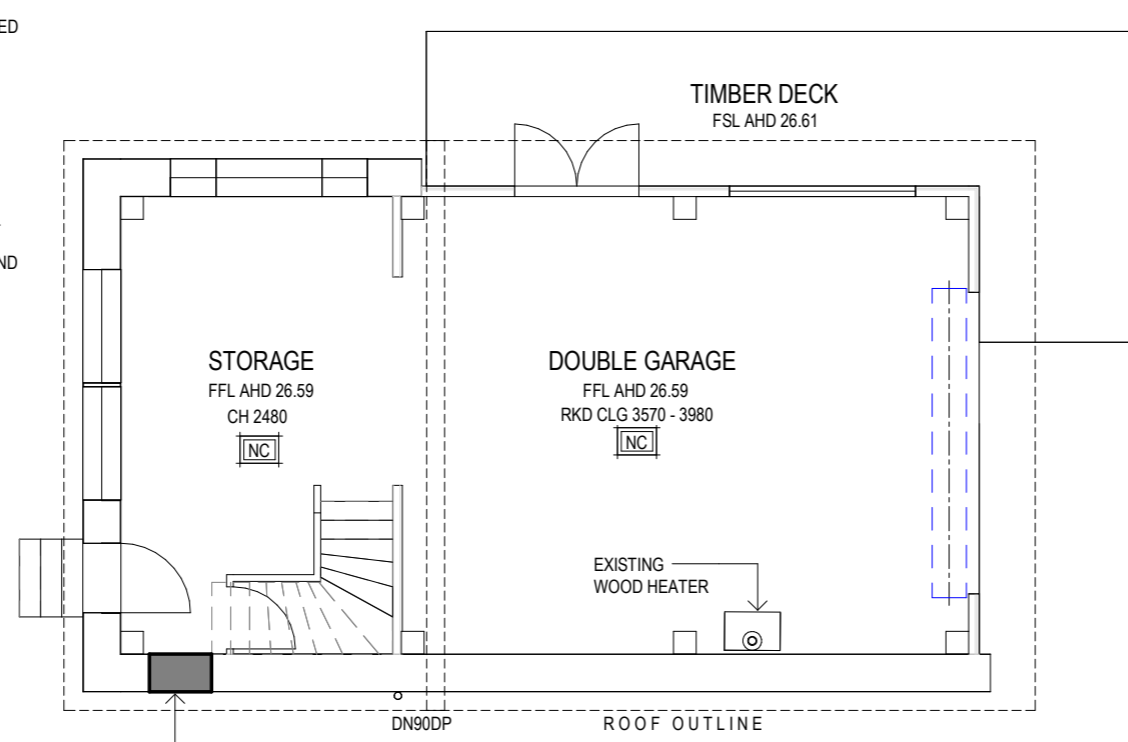
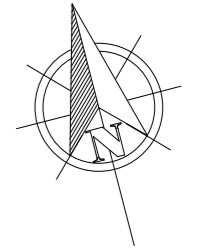
- C - CARPET
- CT - CERAMIC TILES
- NC - NATURAL CONCRETE
- PC - POLISHED CONCRETE
- TFB - TIMBER FLOOR BOARDS
- LAM - TIMBER VINYL / LAMINATE FLOORING

DOOR AND WINDOW LEGEND:

- 15 09 A
- TYPE
WIDTH (900)
HEIGHT (1500)
- A - AWNING
 - BF - BIFOLD DOOR
 - C - CASEMENT
 - F - FIXED
 - FR - FROSTED GLAZING
 - GB - GLASS BRICK
 - L - LOUVRE
 - S - SLIDING
 - SD - SLIDING DOOR
 - STKSD - STACKING TYPE SLIDING DOOR

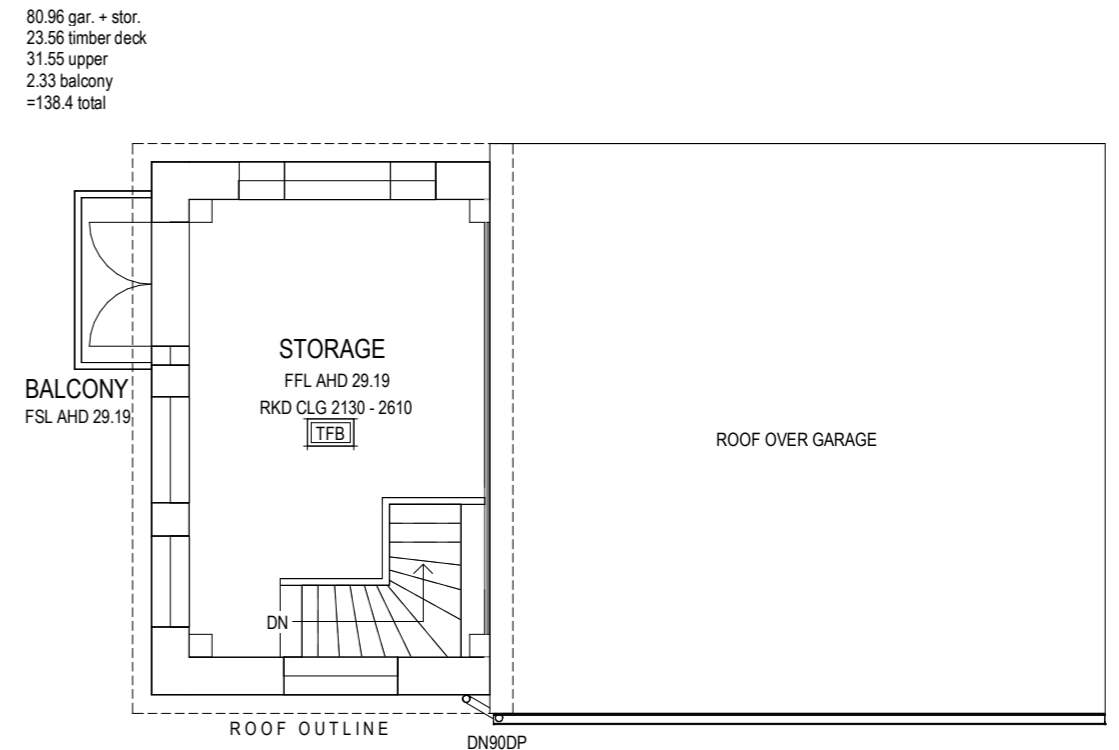
Kingborough Council

Development Application: DA-2022-336
 Plan Reference No.: P7
 Date Received: 11/07/2024
 Date placed on Public Exhibition: 24/07/2024



EXISTING & DEMOLITION GARAGE PLAN

SCALE 1 : 100 @ A3

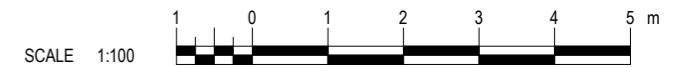


EXISTING MEZZANINE FLOOR PLAN

SCALE 1 : 100 @ A3

DEMOLITION LEGEND:

- EXISTING
- TO BE DEMOLISHED



NOTE: ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED

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1	ISSUED FOR REVIEW	03-08-2023
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4	TREE PLAN & SCHEDULE CREATED	25-06-2024
5	TREE REMOVAL SCHEDULE AMENDED	11-07-2024

DESIGNED	HDG
DRAWN	J.G
CHECKED	A.W

REFER TO COVER SHEET HARRISON-000

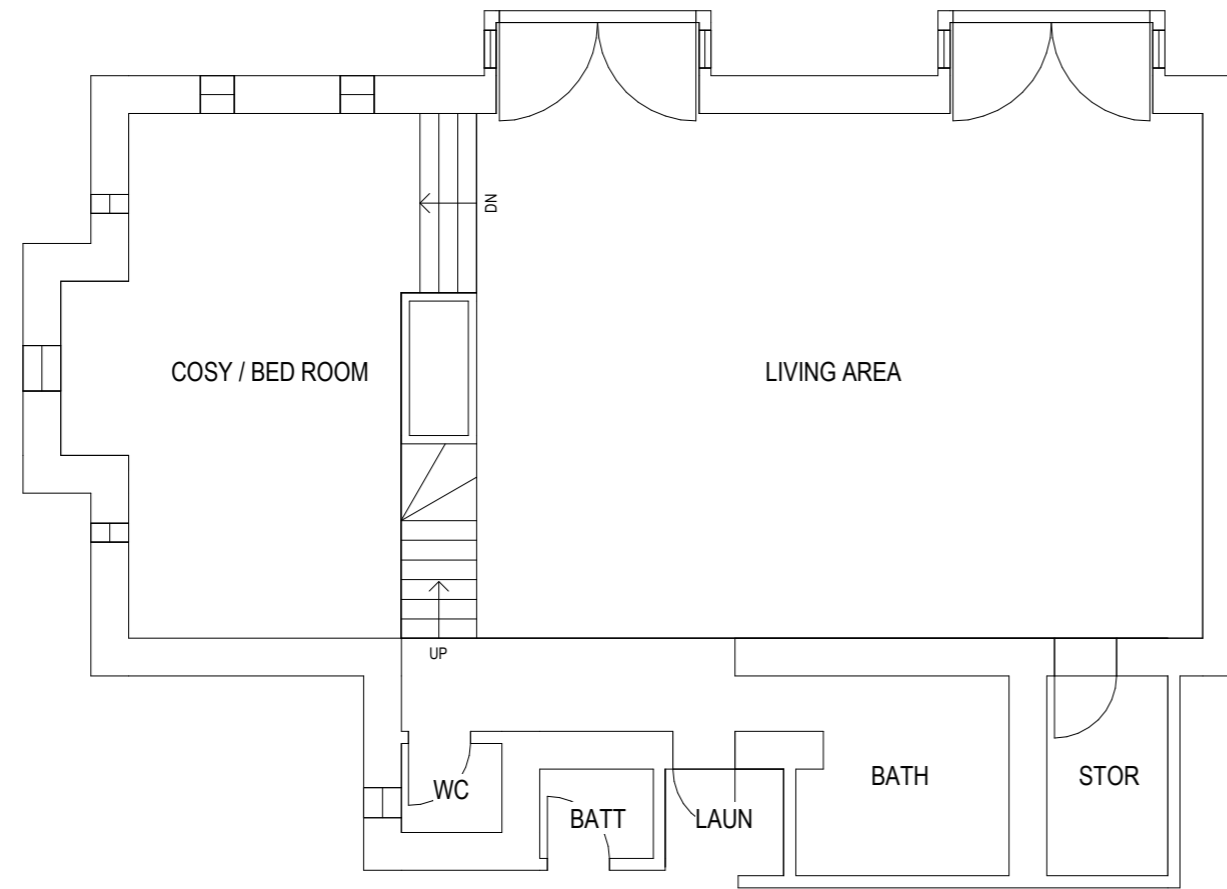
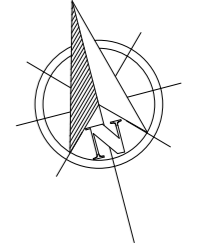
HARGREAVES DESIGN GROUP	
ABN 76 001 322 313	
2/17 Bayfield Street, Rosny Park, TAS 7018	
Office Phone: (03) 6234 6185	
Email: hobart@hargreaves.design	
Website: www.hargreaves.design	
Building Designer Licence Nos. 695791616 & DP-AD 13882	

CLIENT	T.HARRISON
TITLE	MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150 PROPOSED OUTBUILDINGS EXISTING & DEMOLITION GARAGE PLANS
DRG No.	HARRISON
SHT.	006A
SCALE	1:100
A3	

DRG No.	HARRISON	SHT.	006A	SCALE	1:100	A3
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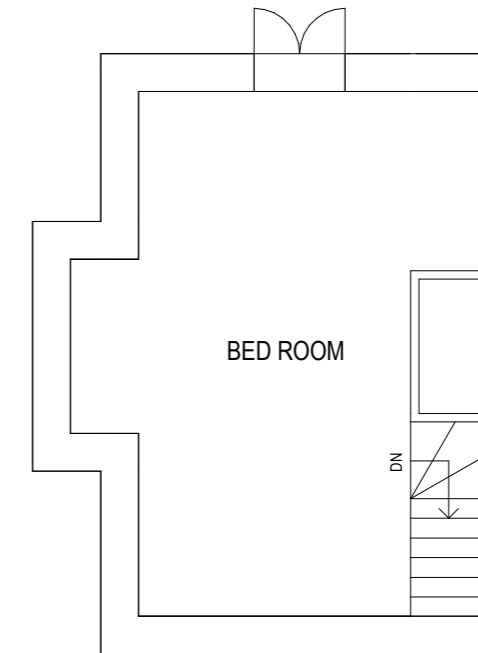
Kingborough Council

Development Application: DA-2022-336
 Plan Reference No.: P7
 Date Received: 11/07/2024
 Date placed on Public Exhibition: 24/07/2024



EXISTING DWELLING GROUND FLOOR PLAN

SCALE 1 : 100 @ A3



EXISTING DWELLING MEZZANINE FLOOR PLAN

SCALE 1 : 100 @ A3



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4	TREE PLAN & SCHEDULE CREATED	25-06-2024
5	TREE REMOVAL SCHEDULE AMENDED	11-07-2024

REFERENCE
REFER TO COVER SHEET HARRISON-000

DESIGNED	HDG
DRAWN	J.G
CHECKED	A.W

HARGREAVES DESIGN GROUP

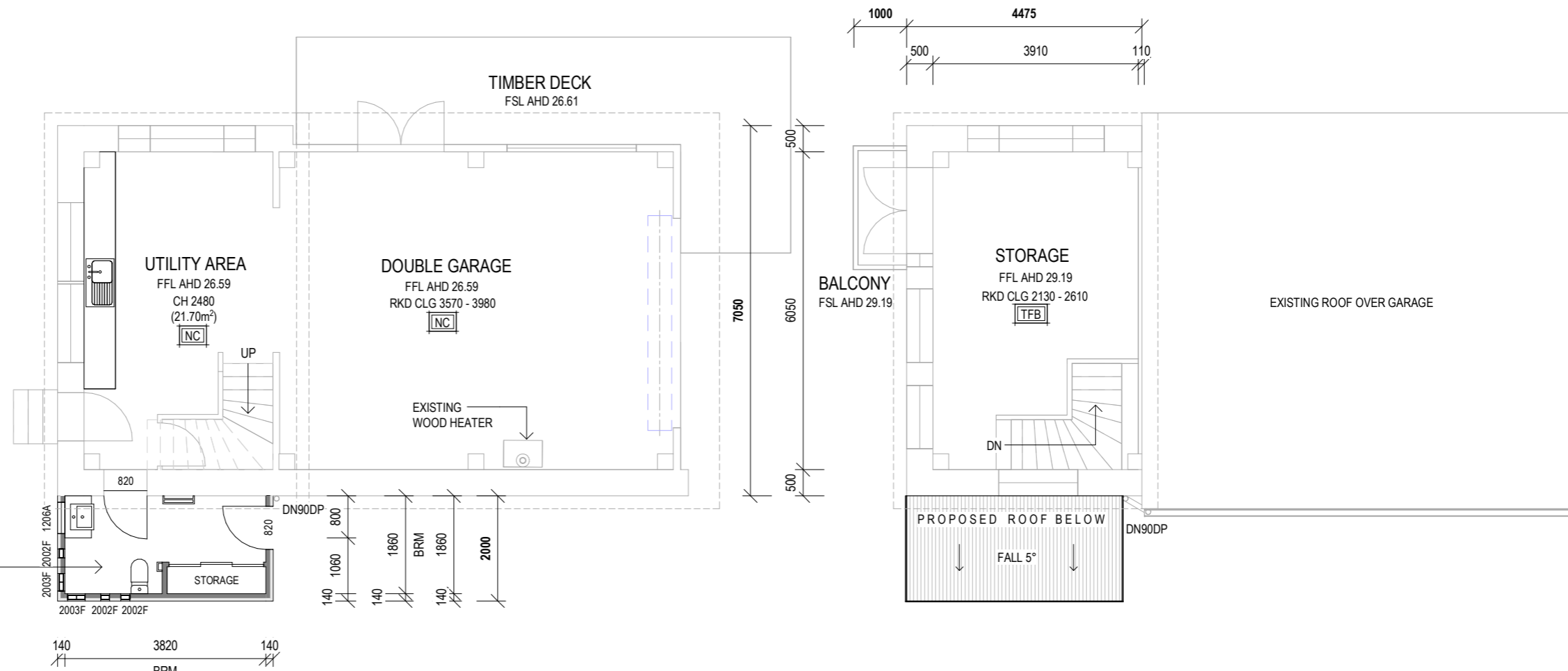
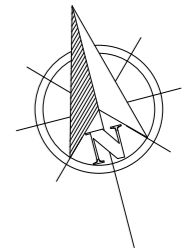
ABN 76 001 322 313
 2/17 Bayfield Street, Rosny Park, TAS 7018
 Office Phone: (03) 6234 6185
 Email: hobart@hargreaves.design
 Website: www.hargreaves.design
 Building Designer Licence Nos. 695791616 & DP-AD 13882

CLIENT	T.HARRISON		
TITLE	MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150 PROPOSED OUTBUILDINGS EXISTING DWELLING FLOOR PLANS		
DRG No.	HARRISON	SHT. 006B	SCALE 1 : 100 A3

STAIRS / HANDRAIL NOTES:

1. CLOSED TIMBER STAIRS CONSTRUCTED IN ACCORDANCE WITH BCA PART 3.9.1
2. TREADS MUST HAVE A SLIP-RESISTANT FINISH OF A SUITABLE NON-SKID STRIP NEAR THE EDGE OF THE NOSINGS.
3. RISER AND GOING DIMENSIONS IN ACCORDANCE WITH BCA PART 3.9.1.4.
 RISER (R) MAX. 190 - MIN. 115
 GOING (G) MAX. 355 - MIN. 240
 SLOPE RELATIONSHIP
 2R + G MAX. 700 - MIN. 550
4. INSTALL HANDRAIL TO ONE SIDE OF FLIGHT IN ACCORDANCE WITH BCA PART 3.9.2.4.

Kingborough Council
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FLOOR FINISHES LEGEND:

- CARPET
- CERAMIC TILES
- NATURAL CONCRETE
- POLISHED CONCRETE
- TIMBER FLOOR BOARDS
- TIMBER VINYL / LAMINATE FLOORING

DOOR AND WINDOW LEGEND:

- 15 09 A
- TYPE
 WIDTH (900)
 HEIGHT (1500)
- A - AWNING
 - BF - BIFOLD DOOR
 - C - CASEMENT
 - F - FIXED
 - FR - FROSTED GLAZING
 - GB - GLASS BRICK
 - L - LOUVRE
 - S - SLIDING
 - SD - SLIDING DOOR
 - STKSD - STACKING TYPE SLIDING DOOR

PROPOSED GARAGE FLOOR PLAN

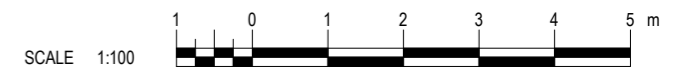
SCALE 1 : 100 @ A3

MEZZANINE FLOOR PLAN

SCALE 1 : 100 @ A3

WALL LEGEND:

- EXISTING (HALFTONE)
- PROPOSED



NOTE: ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED

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5	TREE REMOVAL SCHEDULE AMENDED	11-07-2024	

DESIGNED	HDG
DRAWN	J.G
CHECKED	A.W

HARGREAVES DESIGN GROUP

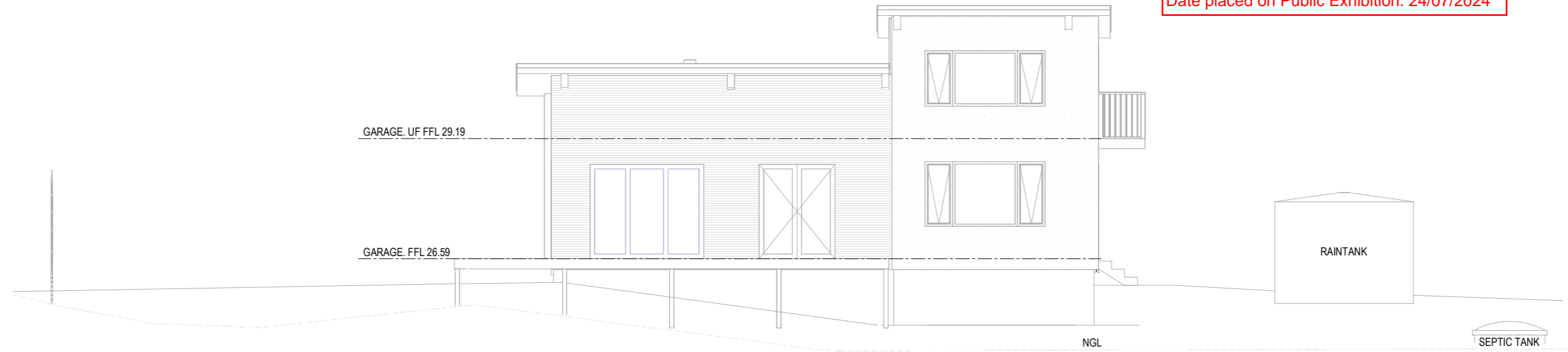
ABN 76 001 322 313
 2/17 Bayfield Street, Rosny Park, TAS 7018
 Office Phone: (03) 6234 6185
 Email: hobart@hargreaves.design
 Website: www.hargreaves.design

Building Designer Licence Nos. 695791616 & DP-AD 13882

CLIENT	T.HARRISON		
TITLE	MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150 PROPOSED OUTBUILDINGS PROPOSED GARAGE PLANS		
DRG No.	HARRISON	SHT. 007	SCALE 1:100 A3

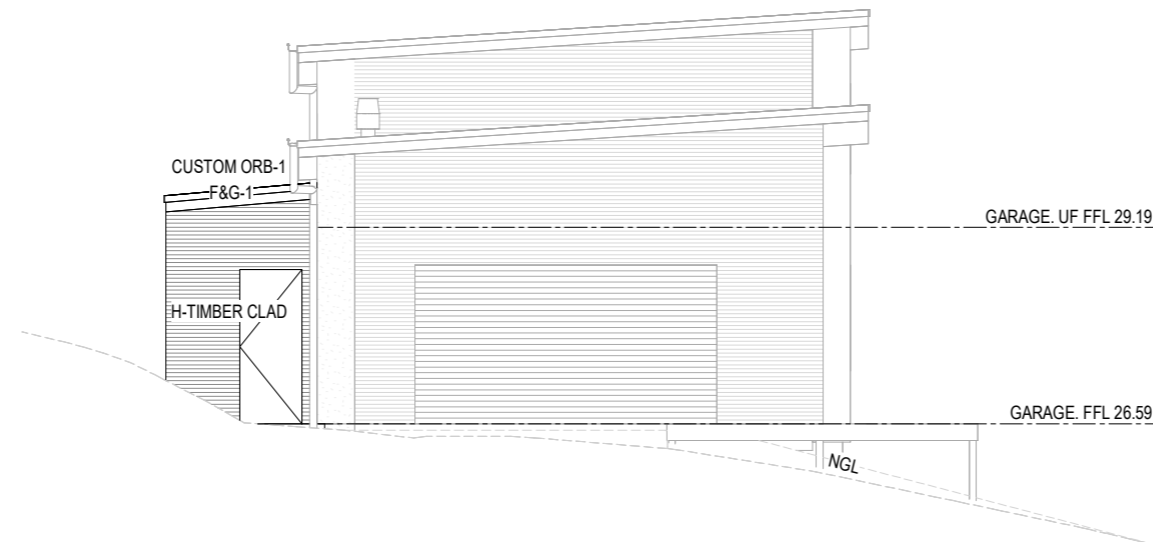
Kingborough Council

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GARAGE - NORTH ELEVATION

SCALE 1 : 100 @ A3



GARAGE - EAST ELEVATION

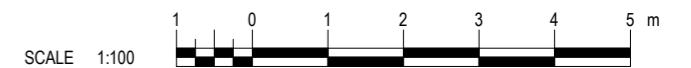
SCALE 1 : 100 @ A3

WALL LEGEND:

	EXISTING (HALFTONE)
	PROPOSED

ELEVATION KEYNOTE LEGEND:

CUSTOM ORB-1	COLORBOND CUSTOM ORB ROOF SHEETING. COLOUR - TO MATCH COLORBOND 'PALE EUCALYPT'
F&G-1	COLORBOND METAL FASCIA & GUTTER SYSTEM. COLOUR - TO MATCH COLORBOND 'PALE EUCALYPT'
H-TIMBER CLAD	HORIZONTAL TIMBER EXTERNAL WALL CLADDING. NATURAL-STAIN FINISH.



NOTE: ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED

REV.	DESCRIPTION	DATE
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REFERENCE
REFER TO COVER SHEET HARRISON-000

DESIGNED	HDG
DRAWN	J.G
CHECKED	A.W

HARGREAVES DESIGN GROUP
 ABN 76 001 322 313
 2/17 Bayfield Street, Rosny Park, TAS 7018
 Office Phone: (03) 6234 6185
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 Building Designer Licence Nos. 695791616 & DP-AD 13882

CLIENT	T.HARRISON		
TITLE	MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150 PROPOSED OUTBUILDINGS PROPOSED GARAGE ELEVATIONS 1 OF 2		
DRG No.	HARRISON	SHT. 008	SCALE 1 : 100 A3

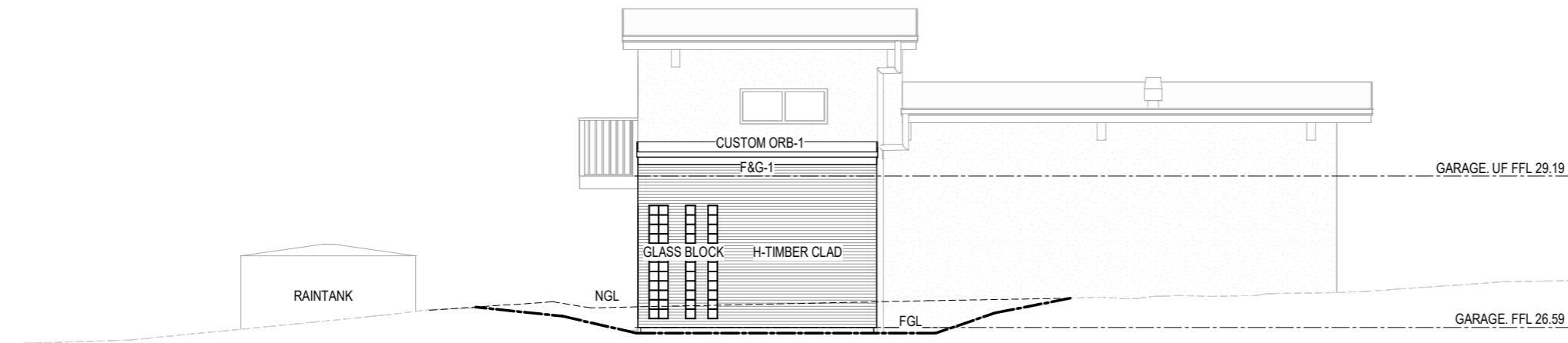
Kingborough Council

Development Application: DA-2022-336

Plan Reference No.: P7

Date Received: 11/07/2024

Date placed on Public Exhibition: 24/07/2024



GARAGE- SOUTH ELEVATION

SCALE 1 : 100 @ A3



GARAGE - WEST ELEVATION

SCALE 1 : 100 @ A3

WALL LEGEND:

	EXISTING (HALFTONE)
	PROPOSED

ELEVATION KEYNOTE LEGEND:

CUSTOM ORB-1	COLORBOND CUSTOM ORB ROOF SHEETING. COLOUR - TO MATCH COLORBOND 'PALE EUCALYPT'
F&G-1	COLORBOND METAL FASCIA & GUTTER SYSTEM. COLOUR - TO MATCH COLORBOND 'PALE EUCALYPT'
GLASS BLOCK	GLASS BLOCK WINDOWS. OBSCURE GLASS WITH WHITE MORTAR/SILICONE AT JOINTS.
H-TIMBER CLAD	HORIZONTAL TIMBER EXTERNAL WALL CLADDING. NATURAL-STAIN FINISH.
W&D-1	POWDER COATED ALUMINIUM FRAMED WINDOWS & DOORS. COLOUR - TO MATCH EXISTING WHITE FINISH.



NOTE: ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED

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REFERENCE
REFER TO COVER SHEET HARRISON-000

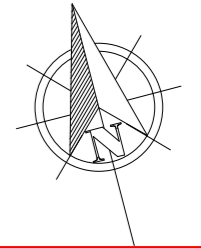
DESIGNED	HDG
DRAWN	J.G
CHECKED	A.W

HARGREAVES DESIGN GROUP

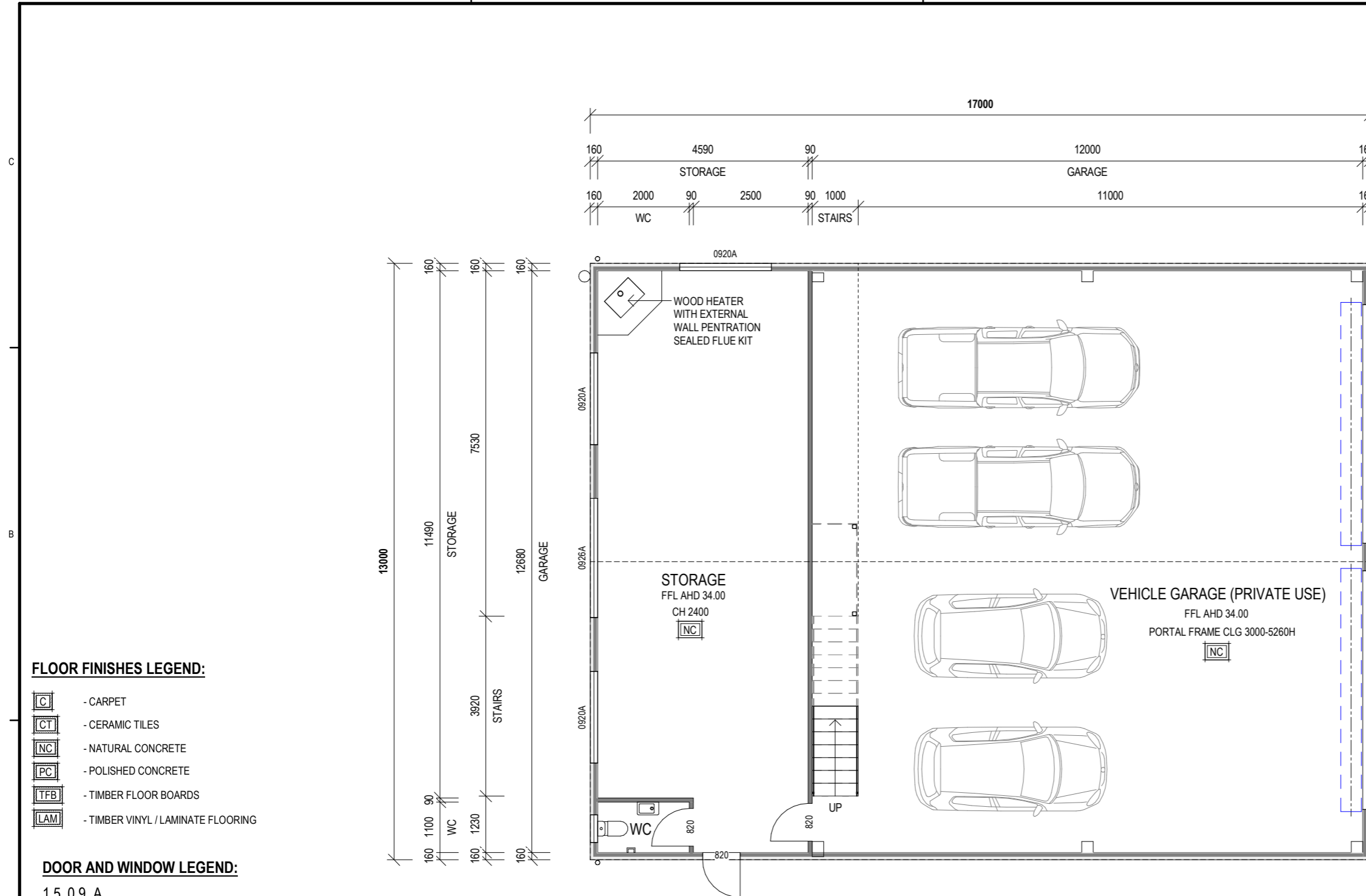
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 Office Phone: (03) 6234 6185
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Building Designer Licence Nos. 695791616 & DP-AD 13882

CLIENT	T.HARRISON		
TITLE	MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150 PROPOSED OUTBUILDINGS PROPOSED GARAGE ELEVATIONS 2 OF 2		
DRG No.	HARRISON	SHT.	009
SCALE	1 : 100	A3	



Kingborough Council
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FLOOR FINISHES LEGEND:

- C - CARPET
- CT - CERAMIC TILES
- NC - NATURAL CONCRETE
- PC - POLISHED CONCRETE
- TFB - TIMBER FLOOR BOARDS
- LAM - TIMBER VINYL / LAMINATE FLOORING

DOOR AND WINDOW LEGEND:

- 15 09 A
- TYPE
 WIDTH (900)
 HEIGHT (1500)
- A - AWNING
 - BF - BIFOLD DOOR
 - C - CASEMENT
 - F - FIXED
 - FR - FROSTED GLAZING
 - GB - GLASS BRICK
 - L - LOUVRE
 - S - SLIDING
 - SD - SLIDING DOOR
 - STKSD - STACKING TYPE SLIDING DOOR

OUTBUILDING PLAN

SCALE 1 : 100 @ A3



REV.	DESCRIPTION	DATE
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REFERENCE
REFER TO COVER SHEET HARRISON-000

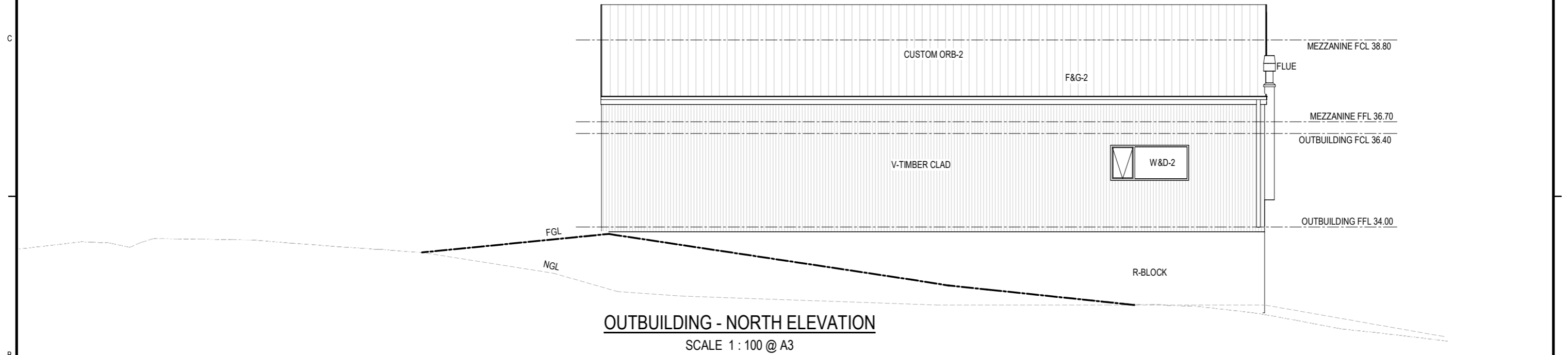
DESIGNED	HDG
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CHECKED	A.W

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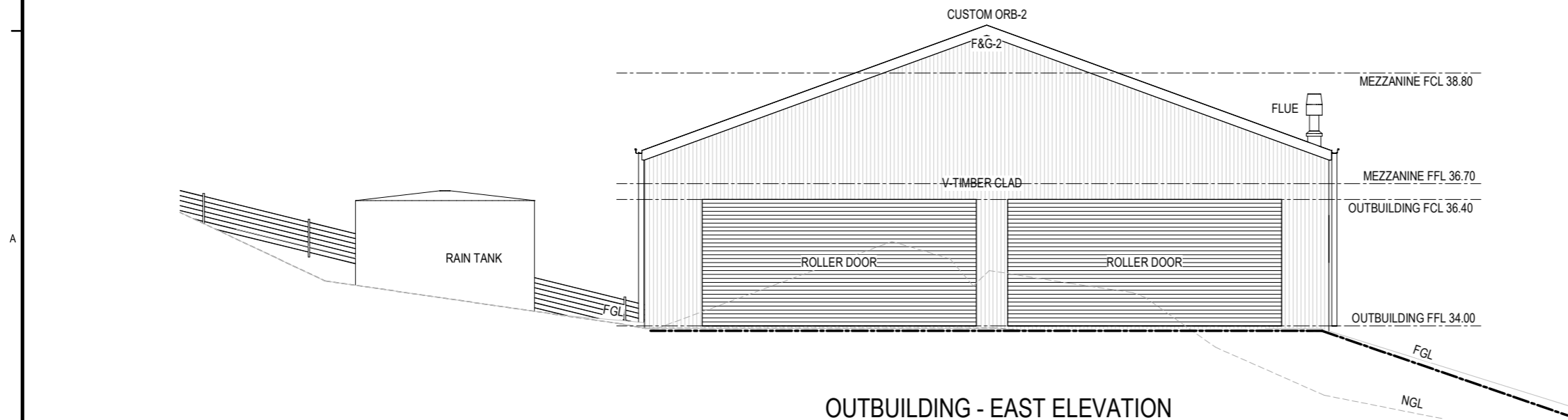
Building Designer Licence Nos. 695791616 & DP-AD 13882

CLIENT	T.HARRISON		
TITLE	MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150 PROPOSED OUTBUILDINGS PROPOSED OUTBUILDING PLAN		
DRG No.	HARRISON	SHT. 010	SCALE 1:100 A3



OUTBUILDING - NORTH ELEVATION

SCALE 1 : 100 @ A3

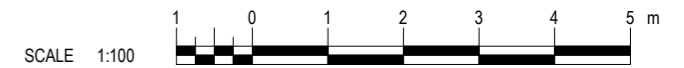


OUTBUILDING - EAST ELEVATION

SCALE 1 : 100 @ A3

ELEVATION KEYNOTE LEGEND:

CUSTOM ORB-2	COLORBOND CUSTOM ORB ROOF SHEETING. COLOUR - TO MATCH COLORBOND 'WALLABY'
F&G-2	COLORBOND METAL FASCIA & GUTTER SYSTEM. COLOUR - TO MATCH COLORBOND 'WALLABY'
R-BLOCK	RENDERED 190mm BLOCK RETAINING WALL. RENDER PAINTED SHALE GREY OR SIMILAR. LRV = 66 (APPROX)
ROLLER DOOR	COLORBOND ROLLER GARAGE DOOR. COLOUR - TO MATCH COLORBOND 'WALLABY'
V-TIMBER CLAD	VERTICAL TIMBER EXTERNAL WALL CLADDING. NATURAL-STAIN FINISH.
W&D-2	POWDER COATED ALUMINIUM FRAMED WINDOWS & DOORS. COLOUR - TO MATCH COLORBOND 'WALLABY'.



NOTE: ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED

REV.	DESCRIPTION	DATE
0	ISSUED FOR REVIEW	16-05-2023
1	ISSUED FOR REVIEW	03-08-2023
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4	TREE PLAN & SCHEDULE CREATED	25-06-2024
5	TREE REMOVAL SCHEDULE AMENDED	11-07-2024

REFERENCE
REFER TO COVER SHEET HARRISON-000

DESIGNED	HDG
DRAWN	J.G
CHECKED	A.W

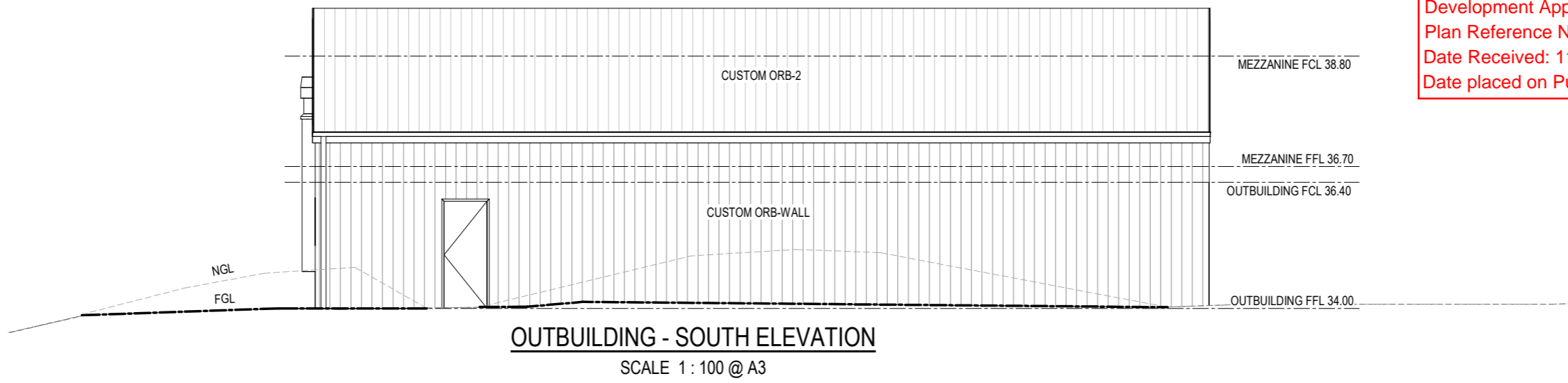
HARGREAVES DESIGN GROUP

ABN 76 001 322 313
 2/17 Bayfield Street, Rosny Park, TAS 7018
 Office Phone: (03) 6234 6185
 Email: hobart@hargreaves.design
 Website: www.hargreaves.design

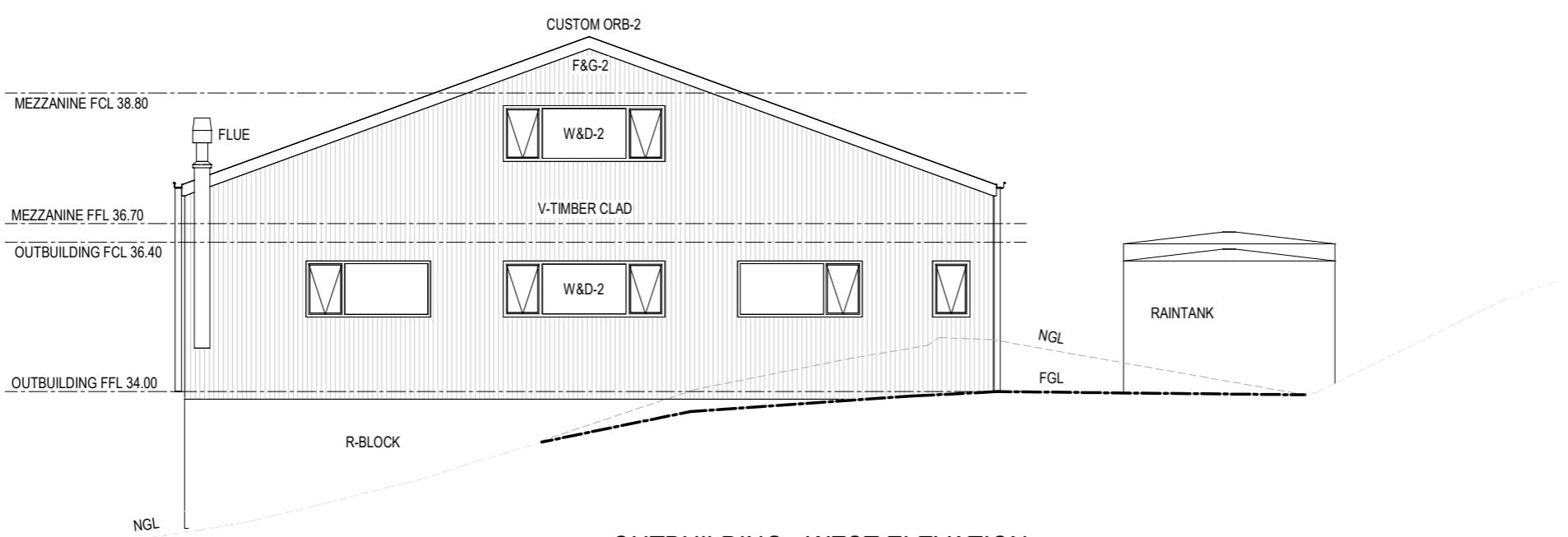
Building Designer Licence Nos. 695791616 & DP-AD 13882

CLIENT	T.HARRISON		
TITLE	MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150 PROPOSED OUTBUILDINGS OUTBUILDING ELEVATIONS 1 OF 2		
DRG No.	HARRISON	SHT. 012	SCALE 1:100 A3

Kingborough Council
 Development Application: DA-2022-336
 Plan Reference No.: P7
 Date Received: 11/07/2024
 Date placed on Public Exhibition: 24/07/2024



OUTBUILDING - SOUTH ELEVATION
 SCALE 1 : 100 @ A3



OUTBUILDING - WEST ELEVATION
 SCALE 1 : 100 @ A3

ELEVATION KEYNOTE LEGEND:

CUSTOM ORB-2	COLORBOND CUSTOM ORB ROOF SHEETING. COLOUR - TO MATCH COLORBOND 'WALLABY'
CUSTOM ORB-WALL	COLORBOND CUSTOM ORB WALL CLADDING. COLOUR - TO MATCH COLORBOND 'WALLABY'
F&G-2	COLORBOND METAL FASCIA & GUTTER SYSTEM. COLOUR - TO MATCH COLORBOND 'WALLABY'
R-BLOCK	RENDERED 190mm BLOCK RETAINING WALL. RENDER PAINTED SHALE GREY OR SIMILAR. LRV = 66 (APPROX)
V-TIMBER CLAD	VERTICAL TIMBER EXTERNAL WALL CLADDING. NATURAL-STAIN FINISH.
W&D-2	POWDER COATED ALUMINIUM FRAMED WINDOWS & DOORS. COLOUR - TO MATCH COLORBOND 'WALLABY'.



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REFERENCE
REFER TO COVER SHEET HARRISON-000

DESIGNED	HDG
DRAWN	J.G
CHECKED	A.W

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 Website: www.hargreaves.design
 Building Designer Licence Nos. 695791616 & DP-AD 13882

CLIENT	T.HARRISON		
TITLE	MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150 PROPOSED OUTBUILDINGS OUTBUILDING ELEVATIONS 2 OF 2		
DRG No.	HARRISON	SHT.	013
SCALE	1 : 100		A3

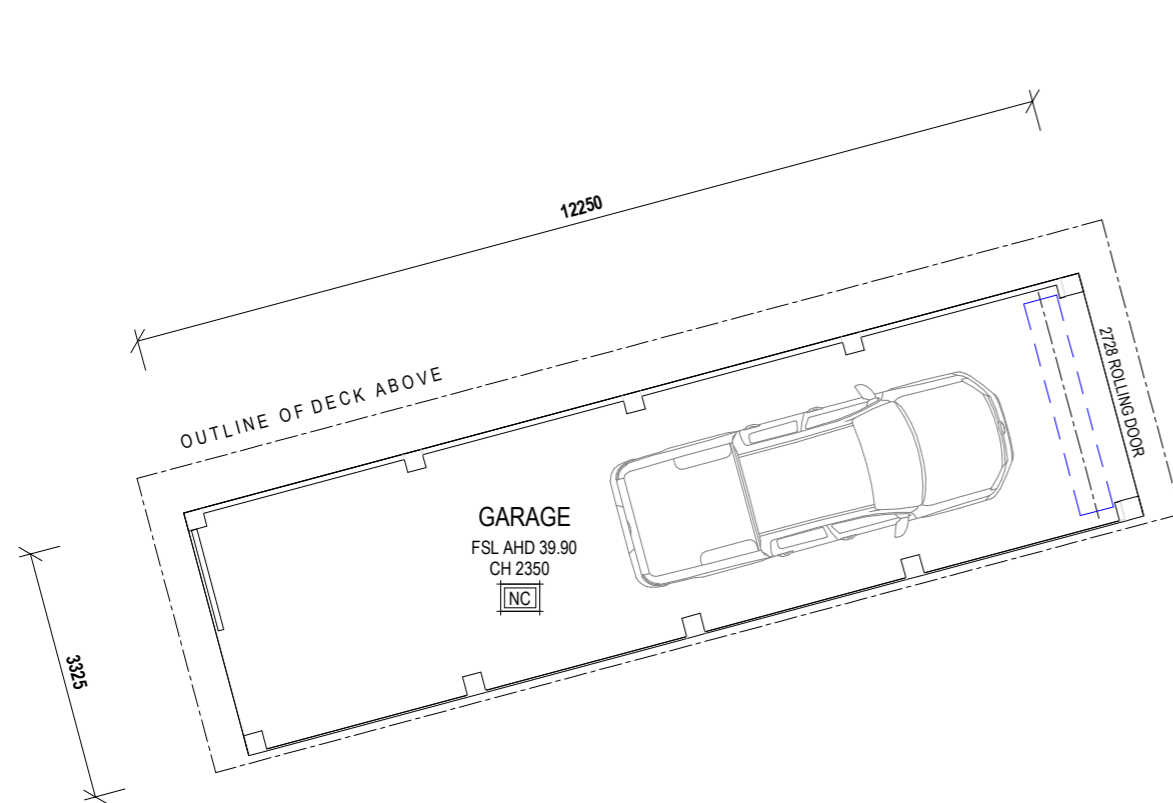
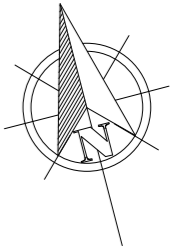
Kingborough Council

Development Application: DA-2022-336

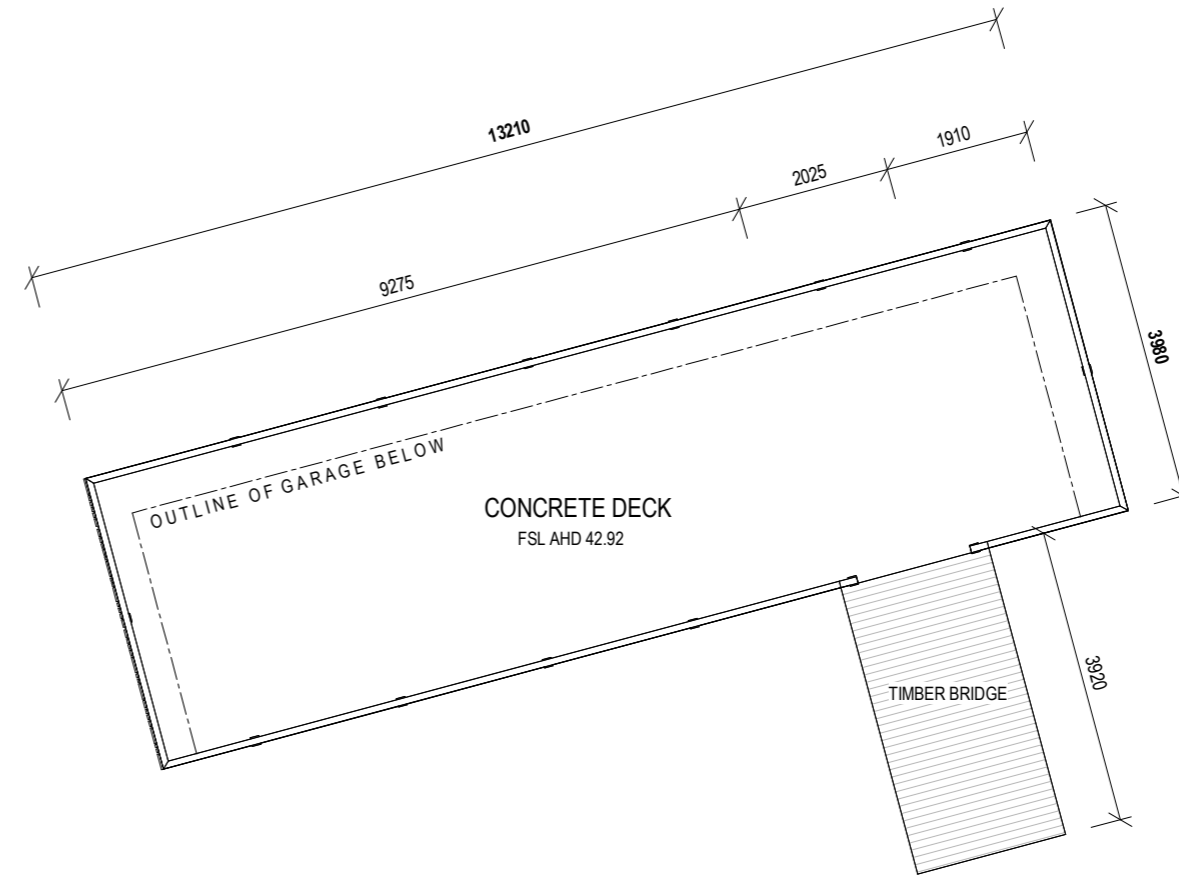
Plan Reference No.: P7

Date Received: 11/07/2024

Date placed on Public Exhibition: 24/07/2024



GARAGE PLAN
SCALE 1 : 100 @ A3



DECK OVER GARAGE PLAN
SCALE 1 : 100 @ A3



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REFERENCE
REFER TO COVER SHEET HARRISON-000

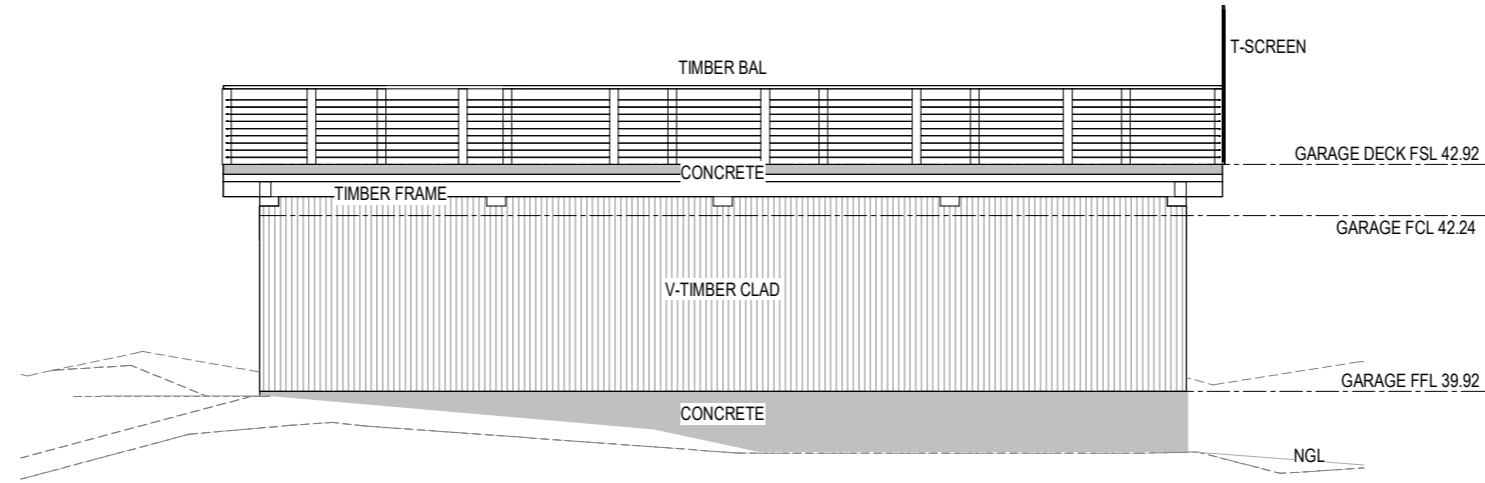
DESIGNED	HDG
DRAWN	J.G
CHECKED	A.W

HARGREAVES DESIGN GROUP

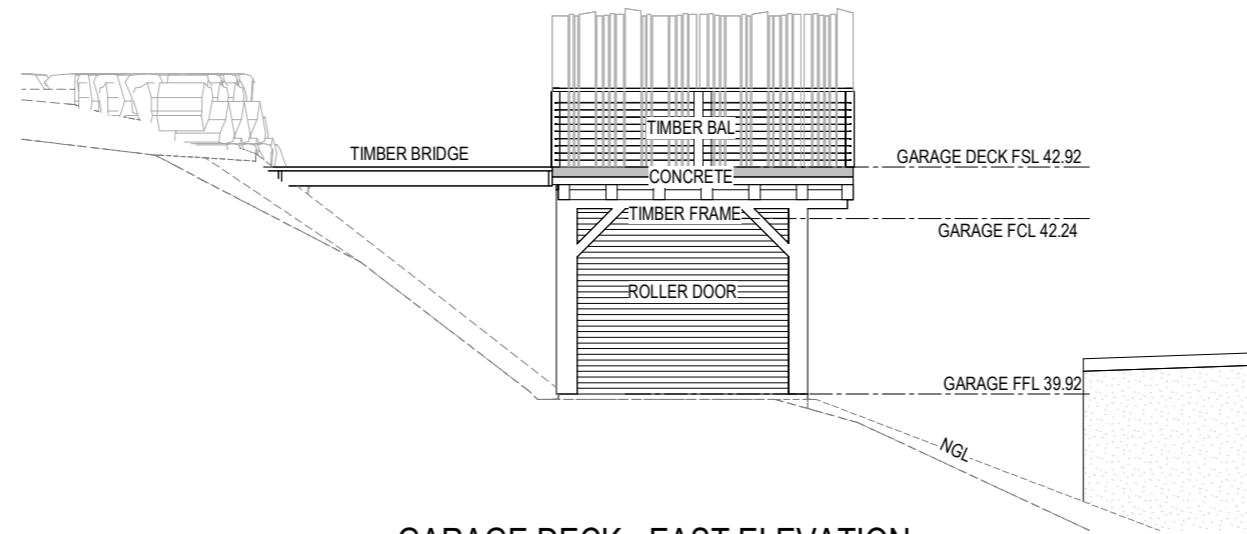
ABN 76 001 322 313
2/17 Bayfield Street, Rosny Park, TAS 7018
Office Phone: (03) 6234 6185
Email: hobart@hargreaves.design
Website: www.hargreaves.design
Building Designer Licence Nos. 695791616 & DP-AD 13882

CLIENT	T.HARRISON		
TITLE	MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150 PROPOSED OUTBUILDINGS PROPOSED GARAGE & DECK PLANS		
DRG No.	HARRISON	SHT. 014	SCALE 1:100 A3

Kingborough Council
 Development Application: DA-2022-336
 Plan Reference No.: P7
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 Date placed on Public Exhibition: 24/07/2024



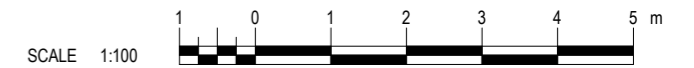
GARAGE DECK - NORTH ELEVATION
 SCALE 1 : 100 @ A3



GARAGE DECK - EAST ELEVATION
 SCALE 1 : 100 @ A3

ELEVATION KEYNOTE LEGEND:

CONCRETE	CONCRETE SLAB. NATURAL FINISH.
ROLLER DOOR	COLORBOND ROLLER GARAGE DOOR. COLOUR - TO MATCH COLORBOND 'WALLABY'
T-SCREEN	VERTICAL BATTEN TIMBER SCREEN
TIMBER BAL	TIMBER & WIRE BALUSTRADE. MIN. 1000H IN ACCORDANCE WITH THE REQUIREMENTS OF BCA PART 3.9.2
TIMBER FRAME	EXPOSED TIMBER FRAME - NATURAL FINISH
V-TIMBER CLAD	VERTICAL TIMBER EXTERNAL WALL CLADDING. NATURAL-STAIN FINISH.



NOTE: ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED

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REFERENCE
REFER TO COVER SHEET HARRISON-000

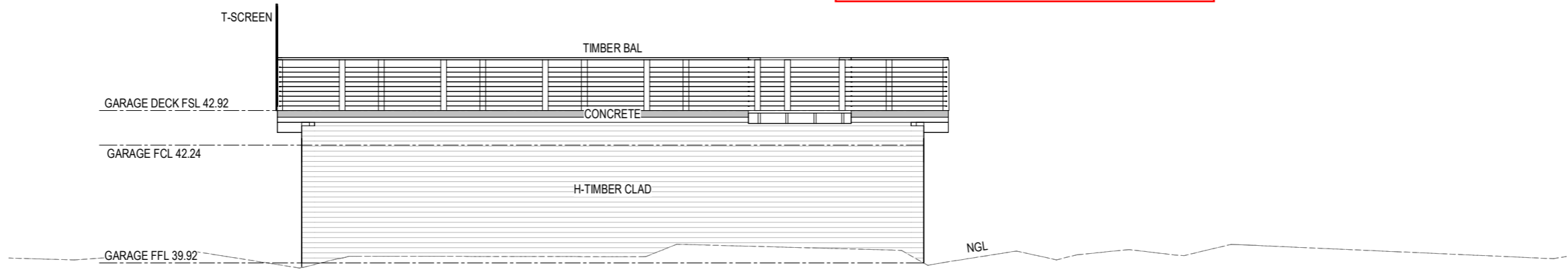
DESIGNED	HDG
DRAWN	J.G
CHECKED	A.W

HARGREAVES DESIGN GROUP

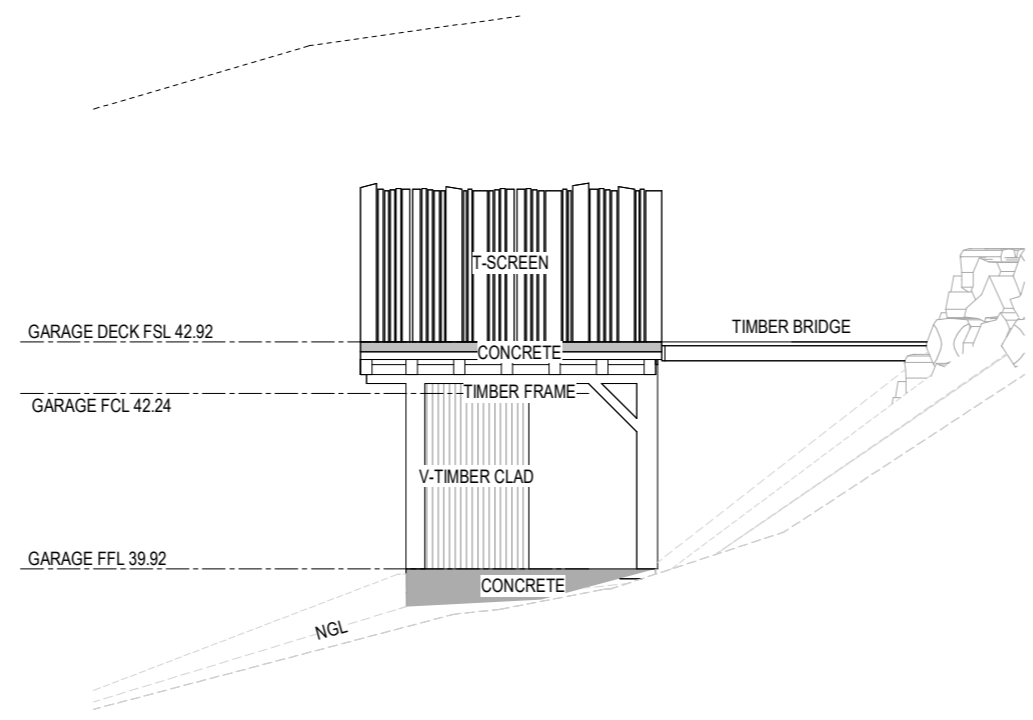
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 Building Designer Licence Nos. 695791616 & DP-AD 13882

CLIENT	T.HARRISON		
TITLE	MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150 PROPOSED OUTBUILDINGS GARAGE & DECK ELEVATIONS 1 OF 2		
DRG No.	HARRISON	SHT. 015	SCALE 1:100 A3

Kingborough Council
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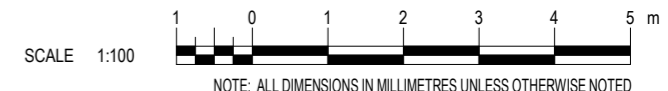
GARAGE DECK - SOUTH ELEVATION
 SCALE 1 : 100 @ A3



GARAGE DECK - WEST ELEVATION
 SCALE 1 : 100 @ A3

ELEVATION KEYNOTE LEGEND:

CONCRETE	CONCRETE SLAB. NATURAL FINISH.
H-TIMBER CLAD	HORIZONTAL TIMBER EXTERNAL WALL CLADDING. NATURAL-STAIN FINISH.
T-SCREEN	VERTICAL BATTEN TIMBER SCREEN
TIMBER BAL	TIMBER & WIRE BALUSTRADE. MIN. 1000H IN ACCORDANCE WITH THE REQUIREMENTS OF BCA PART 3.9.2
TIMBER FRAME	EXPOSED TIMBER FRAME - NATURAL FINISH
V-TIMBER CLAD	VERTICAL TIMBER EXTERNAL WALL CLADDING. NATURAL-STAIN FINISH.



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REFERENCE
REFER TO COVER SHEET HARRISON-000

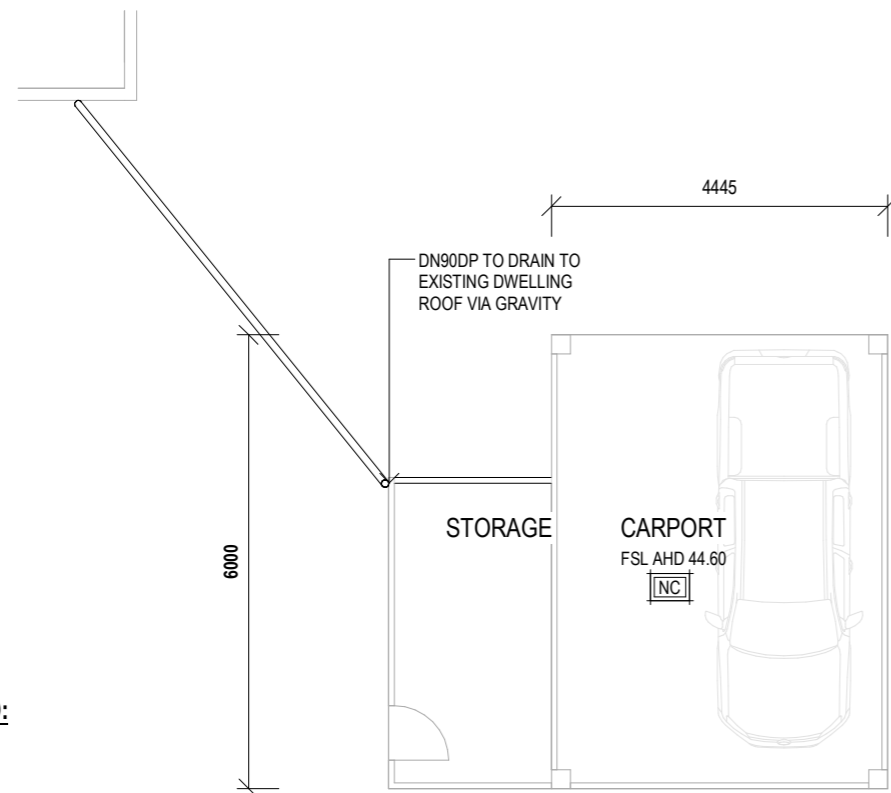
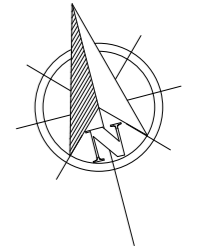
DESIGNED	HDG
DRAWN	J.G
CHECKED	A.W

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CLIENT	T.HARRISON
TITLE	MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150 PROPOSED OUTBUILDINGS GARAGE & DECK ELEVATIONS 2 OF 2
DRG No.	HARRISON
SHT.	016
SCALE	1 : 100
	A3

Kingborough Council
 Development Application: DA-2022-336
 Plan Reference No.: P7
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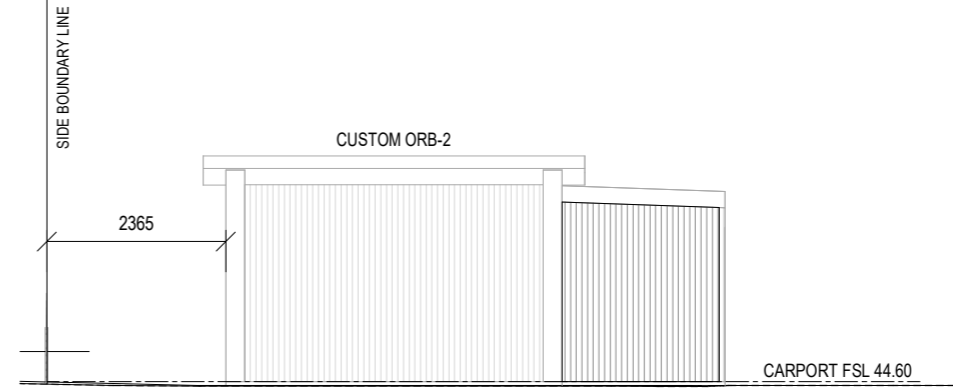
CARPORT PLAN
 SCALE 1 : 100 @ A3

FLOOR FINISHES LEGEND:

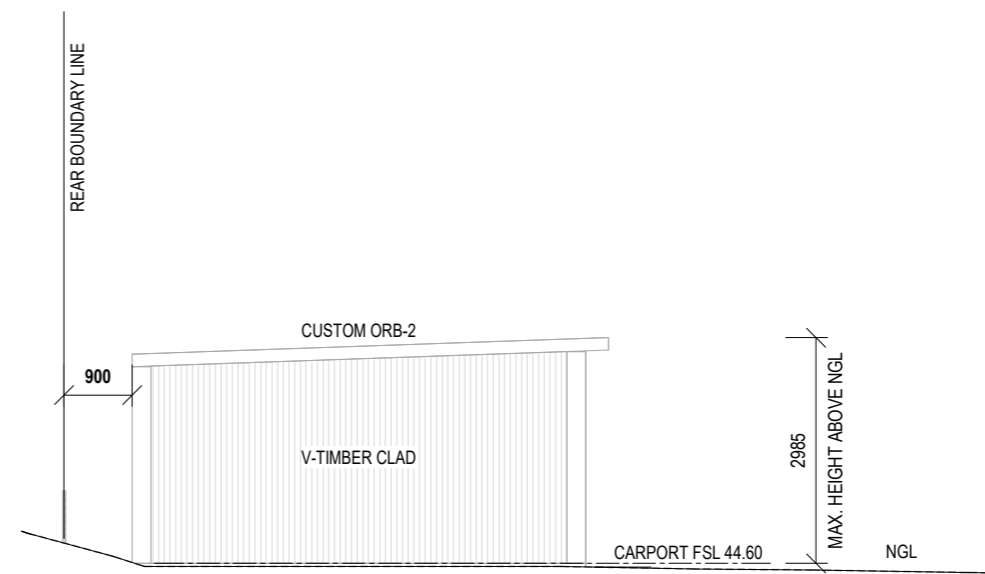
- C - CARPET
- CT - CERAMIC TILES
- NC - NATURAL CONCRETE
- PC - POLISHED CONCRETE
- TFB - TIMBER FLOOR BOARDS
- LAM - TIMBER VINYL / LAMINATE FLOORING

DOOR AND WINDOW LEGEND:

- 15 09 A
- TYPE
 WIDTH (900)
 HEIGHT (1500)
- A - AWNING
 - BF - BIFOLD DOOR
 - C - CASEMENT
 - F - FIXED
 - FR - FROSTED GLAZING
 - GB - GLASS BRICK
 - L - LOUVRE
 - S - SLIDING
 - SD - SLIDING DOOR
 - STKSD - STACKING TYPE SLIDING DOOR



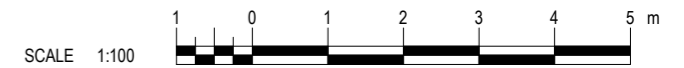
CARPORT - NORTH ELEVATION
 SCALE 1 : 100 @ A3



CARPORT - EAST ELEVATION
 SCALE 1 : 100 @ A3

ELEVATION KEYNOTE LEGEND:

CUSTOM ORB-2	COLORBOND CUSTOM ORB ROOF SHEETING. COLOUR - TO MATCH COLORBOND 'WALLABY'
V-TIMBER CLAD	VERTICAL TIMBER EXTERNAL WALL CLADDING. NATURAL-STAIN FINISH.



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DESIGNED	HJG
DRAWN	J.G
CHECKED	A.W

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Building Designer Licence Nos. 695791616 & DP-AD 13882

CLIENT	T.HARRISON		
TITLE	MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150 PROPOSED OUTBUILDINGS PROPOSED CARPORT PLAN & ELEVATIONS		
DRG No.	HARRISON	SHT. 017	SCALE 1:100 A3

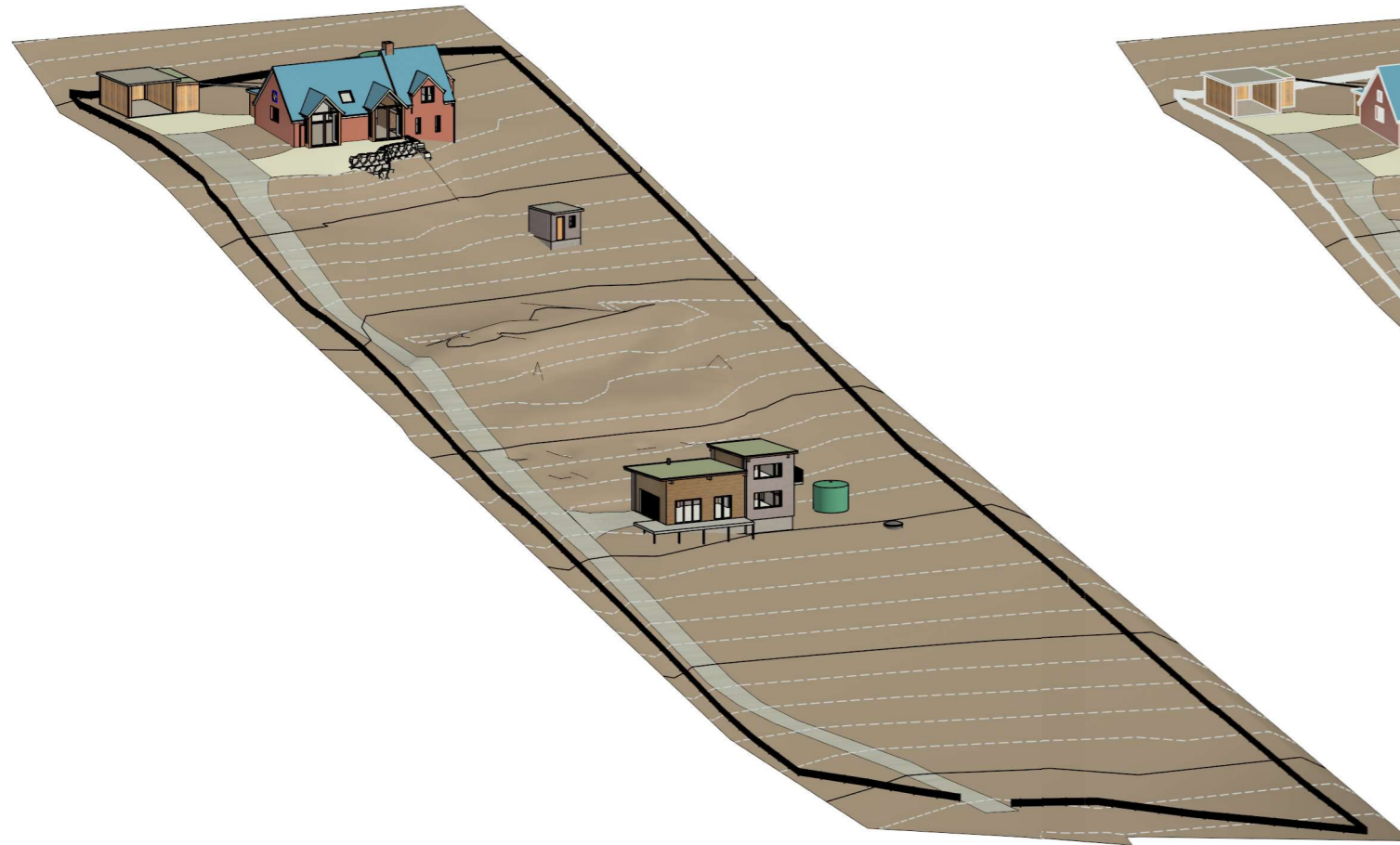
Kingborough Council

Development Application: DA-2022-336

Plan Reference No.: P7

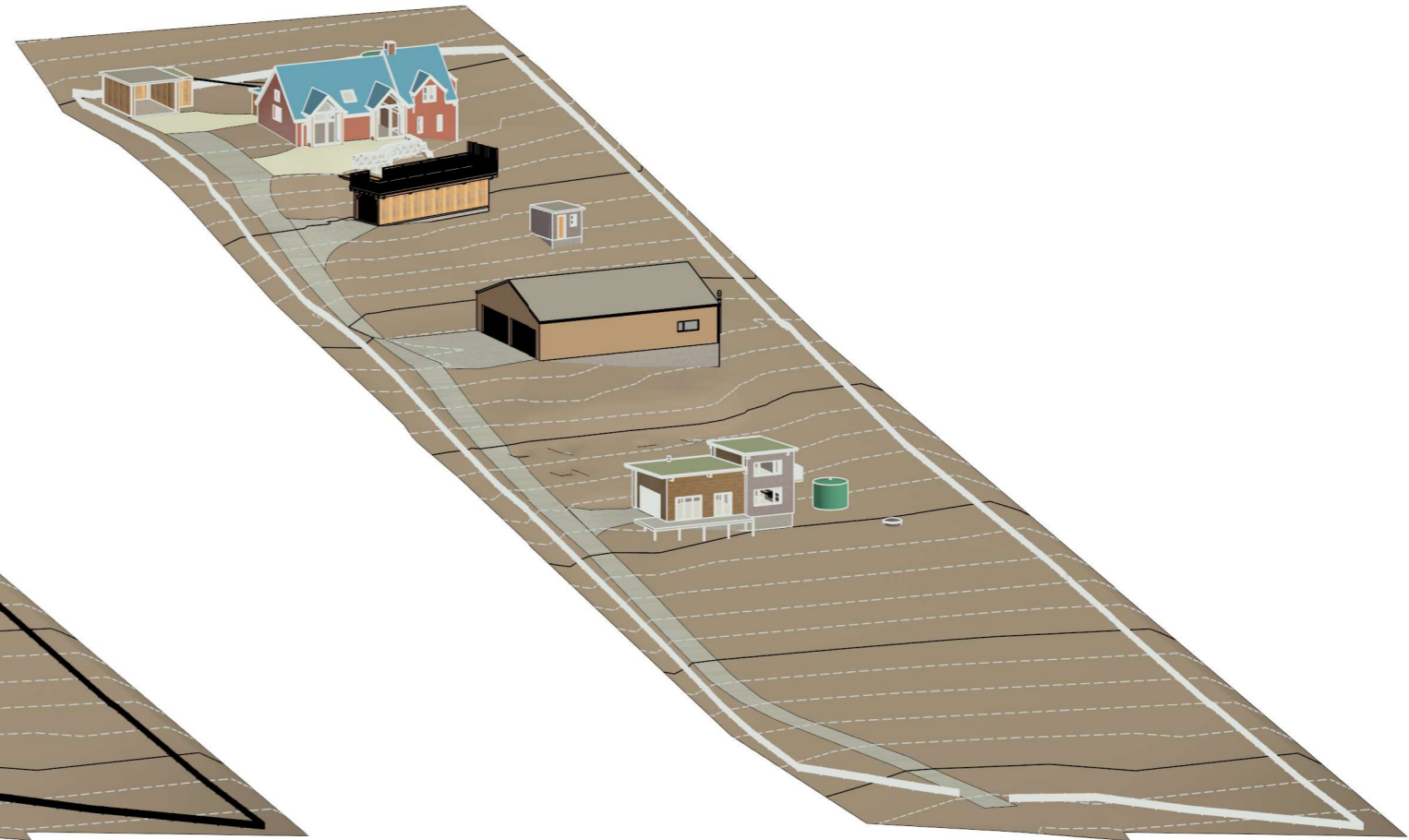
Date Received: 11/07/2024

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EXISTING ORTHOGRAPHIC VIEW 1

NOT TO SCALE @ A3



PROPOSED ORTHOGRAPHIC VIEW 1

NOT TO SCALE @ A3

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REFERENCE
REFER TO COVER SHEET HARRISON-000

DESIGNED	HJG
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CLIENT	T.HARRISON
TITLE	MINOR ADDITION TO EXISTING GARAGE & 136 MANUKA ROAD, OYSTER COVE, TAS 7150 PROPOSED OUTBUILDINGS SITE ORTHOGRAPHIC VIEWS

DRG No.	HARRISON	SHT.	018	SCALE	N.T.S	A3
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